



City of Barre, Vermont
Office of Planning, Permitting & Assessing
Services
6 N. Main Street, Suite 7
Barre, VT 05641
(802) 476-0245 ~ www.barrecity.org

BARRE CITY DEVELOPMENT REVIEW BOARD AGENDA
SPECIAL Meeting held on July 13, 2026, ~ 6:00 P.M.
City Hall Council Chambers

Hybrid Meeting (In-person and Virtual)

<https://us02web.zoom.us/j/86339039737?pwd=ltmJgcmhiZhqGIVPWyx1U21GEDLru.1>

Meeting ID: 863 3903 9737 ~ Passcode: 124905

1. Call to Order 6:00 pm
2. Adjustments to the Agenda
3. Visitors and Communications
4. Old Business
 - Consideration of Minutes from February 5, 2026, Hearing
 - Consideration of Decision from February 5, 2026, Hearing
 - Consideration of Final Decision from January 5, 2026, Hearing
 - Consideration of Minutes from June 4, 2026, Hearing
5. New Business

Barre Evangelical Free Church(BEFC) (owner and applicant), 17 S. Main Street, Barre VT, seeks approval to exceed UDO fence height limits. The property is located in UC-2, Zoning District, Design Review Overlay District.

City of Barre, VT (Owner); Stevens Branch Limited Partnership (Applicant) 11 Seminary Street and 1 Campbell Street seeks approval to amend the original November 7, 2024, to reduce tenant storage, change in fencing material and increased lighting. The project is located in the UC-1 Zoning District, Design Review Overlay.
6. Deliberative Session
7. Next Meeting scheduled for: August 6, 2026, at 6:00 pm
8. Roundtable – as needed
9. Executive Session – as needed
10. Adjourn

Participation Note: Under Chapter 117 Title 24 of the Vermont State Statutes, participation in these proceedings is a prerequisite to the right to make any subsequent appeal. You will lose the right to appeal the final decision unless you participate in the process by offering, through oral or written testimony, evidence or a statement of concern related to the application being reviewed. Oral testimony must be given at the public hearing. Written testimony must be submitted prior to the closing of the public hearing.

Development Review Board hearings are open to the public.
For questions about accessibility or to request accommodation, please call (802) 476-0245.



PLANNING & PERMITTING

6 N. Main Street, Suite 7
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DEVELOPMENT REVIEW BOARD STAFF REPORT

Hearing Date: July 13, 2026	
Application(s) Z26-000036	
Application Received: June 4, 2026	
Application Deemed Complete: June 25, 2026	
Applicant(s): Barre Evangelical Free Church (BEFC)	Owner(s): Barre Evangelical Free Church
Consultant 1: Michael McMahon, building Deacon	
E-911/Postal Address: 17 S. Main Street	
Parcel Number: 1345-0017-0000	
School Parcel Account Number(s) (SPAN): 036-011-10176	
Existing Size: Church-0.57AC	Design Review Overlay:
Zoning District(s): UC-2	Zoning Permit #: Z26-000036

INTRODUCTION

Noticed Summary of Proposal:

The applicant has submitted a request for a variance from UDO Section 3015 to allow construction of a fence that exceeds the maximum height permitted under UDO. The application includes a site plan and description of the proposed fence height, location, and purpose.

Comments:

The review refers to relevant sections of the Barre Unified Development Ordinance (UDO). Robin Davis, Permit Administrator, herein referred to as Staff, has reviewed the application, materials, and plans submitted and have prepared the comments noted in this report.

APPLICATION, JURISDICTION & NOTICE

Application: This matter comes before the City of Barre Development Review Board (DRB) for approval to exceed UDO fence height limits. This property is located in the UC-2 Zoning District, Design Review Overlay District. The application and its associated materials are maintained by the City in the application file and are available for public inspection.

Applicant(s): The application was submitted by Barre Evangelical Free Church (BEFC), Martin McMahon, Deacon of church.

Landowner(s): The lot is owned by BEFC.

Project Consultant(s): None

Application Submissions & Completion: The application form and associated exhibits were received by the Planning, Permitting and Assessing Services on June 4, 2026. The application was deemed complete by Staff on June 26, 2026.

General Jurisdiction: Applies because the project falls under the regulatory authority of the UDO.

Warning/Notice of Hearing: Public warning was issued by the Department of Planning, Permitting and Assessing Services or the hearing according to the Vermont State Statutes Annotated Chapter 24 §4464. A list of adjoining property owners notified is maintained in the applicant's file.

PROJECT SUMMARY

The applicant seeks approval to install fencing that exceeds the maximum height permitted under Section 3015 of the UDO. The proposal includes a fence height of 12.6 feet in the front yard next to the entrance to the church and 12 feet in the rear yard, closing in the concrete slab where propane tanks are. According to the applicant, the increased height is requested to address site security concerns, including instances of vagrancy, trespass, and unauthorized access. The applicant states that a taller fence is intended to improve protection of the property and support safe use of the site.

APPLICABLE STANDARDS/STAFF FINDINGS

Section 3015 Fences and Walls

3015.A Applicability: The provisions of this section apply to all fences and walls not exempted in Subpart 100.

Understood

3015.B Setbacks: Fences and walls may be located within district setbacks as specified in Figure 3-1.

Met

3015.C Height: The maximum height of fences and non-retaining walls will be as follows unless otherwise approved by the Development Review Board in order to provide adequate screening or security:

- (1) 4½ feet if located between the street and the principal building frontline. **Not Met**
- (2) 6½ feet if located to the rear or side of the principal building. **Not Met**
- (3) Height restrictions will not apply to fences within the Industrial district provided that:
 - (a) The fence does not abut land in another zoning district; and **Understood**
 - (b) The fence height and location does not reduce sight distance at intersections. **Not Applicable**
- (4) A fence or wall must not obscure vision above a height of 3 feet at an intersection. **Not Applicable**
- (5) The height of a fence will be measured from the highest part of the fence (including any structure or decorative elements) to the grade immediately below the point along the fence where that distance is greater. **Met**

3015.D Materials:

- (1) Must be constructed of permanent material such as wood, chain link, stone, rock, concrete, brick, decorative wrought iron or other materials of similar durability; **Understood and met**
- (2) Must be constructed so that any support posts are to the inside and the “finished” or “good” side faces out; and **Understood**
- (3) Must not be constructed of barbed wire, razor wire or similar materials capable of inflicting significant physical injury except as required to meet state or federal regulations. **Understood**

The applicant is requesting a height variance from this requirement for the purpose of security of the property and parishioners due to vagrancy problems in the area.

STAFF RECOMMENDATION

Staff recommend approval with conditions to ensure project quality and consistency with the intent of the UDO. Recommendations with the following conditions to ensure compliance with applicable ordinance requirements:

1. Approve the applicant’s request for a 12-foot fence height variance in the small areas as indicated.
2. Approve and ensure all fence material comply with Section 3015.D, including the use of durable, permanent material, and finished surfaces facing outward to be consistent and give a high-quality appearance.
3. Any immaterial or non-substantial modifications to the approved plans may be authorized administratively by the Zoning Administrator

WHAT'S NEXT

Decision: The DRB has 45 days from the close of the hearing to issue a written decision. The DRB aims to finalize decisions at the next available DRB meeting; however, additional time may be needed. The applicant will receive a copy of the decision by USPS Certified Mail. The official date of issuance is the date the decision is mailed by Certified Mail. All other interested persons who signed in at the hearing will also receive a copy of the decision by USPS First Class Mail.

Rear of church where fence will go Pictures 1 & 2

Front Entrance of church to the left exiting main entrance where fence will go Pictures 3 & 4



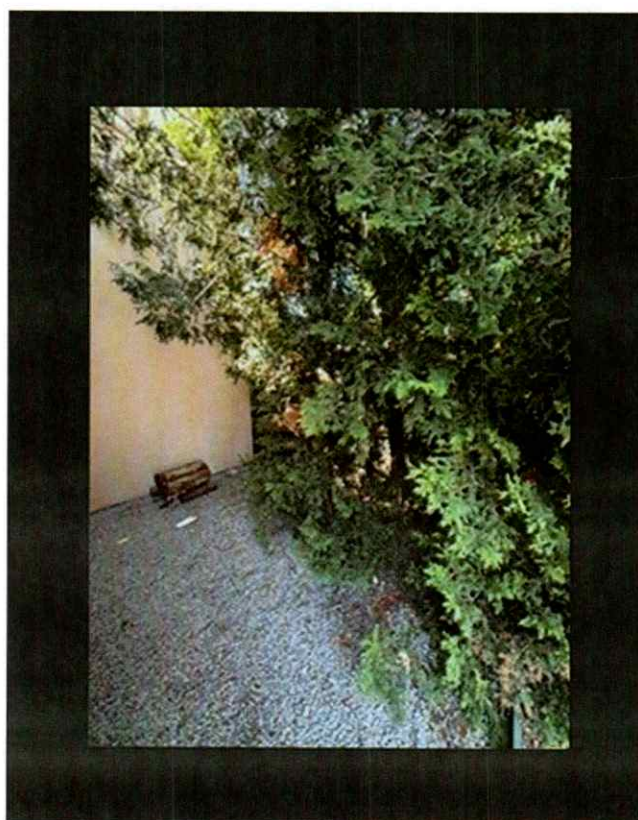
Picture 1



Picture 2



Picture 3



Picture 4

CITY OF BARRE, VERMONT
DEVELOPMENT REVIEW BOARD REGULAR MEETING MINUTES
Thursday, February 5, 2026, at 6:00 P.M.

Location: Council Chambers, City Hall, 6 N. Main Street, Barre, VT

1. Call to Order:

Chair Sarah Helman called the meeting to order at 6:16 P.M.

Roll Call

Board Members Present:

- Sarah Helman, Chair, Ward II (In-Person)
- Liz Turner, At Large (In-Person)
- Katrina Pelkey Ward III (In-Person)
- Michelle Farnham, Ward I (Video)
- Jayme Bauer Ward II (Video)

Board Members Absent:

- Chrysta Murray, Ward I
- Colin Doolittle, Ward III

Staff Present:

- Janet Shatney, Planning Director / Zoning Administrator
- Robin L. Davis, Permit Administrator

Public Present: From presentations and Sign-in sheet

- Brian Lane -Karnas, PE, DeWolfe Engineering Associates PC., as Applicant for City of Barre
- Nicolas Storellicastro, City of Barre Manager
- Carol Dawes, TIF Administrator

2. Adjustments to the Agenda:

No adjustments were made to the agenda.

3. Visitors and Communications:

There were no visitors nor any other communications not on the agenda that were made.

4. Old Business:

Consideration of Minutes from January 5, 2026, Hearing:

Motion by J. Bauer , seconded by K. Pelkey, to approve the minutes of the Special DRB meeting dated January 5, 2026, with required amendment. **Motion passed unanimously 5-0-0.**

Consideration of Decision from January 5, 2026, Hearing

Motion by K. Pelkey and seconded by J. Bauer to approve the Decision with edits dated January 5, 2026 . **Motion passed unanimously 5-0-0.**

5. New Business – Public Hearing:

DRB Application #Z26-000001

Applicant: City of Barre, by and through B. Lane-Karnas.

Location: 0 Campell Place (Campbell parking lot) UC-1 Zoning District, Design Review Overlay District.

Request: Seeks site plan approval for redesign and reconstruction of the current parking lot, which includes a change in the lot count.

Board Discussion: Summary of Board questions, clarifications, and discussion.

Applicant Testimony: B. Lane-Karnas, on behalf of the City of Barre introduced himself providing confirmation of his credentials .

The Oath was administered by S. Helman, Chair to B. Lane-Karnas, who wished to continue with the current quorum.

B. Lane-Karnas gave a brief presentation of the materials previously provided to the Board Members. Floor was opened up to questions to the board members to B. Lane-Karnas.

- **Member L. Turner** requested clarification of the portion of the Staff Report that indicated there were no EV Charge Stations with this project. B. Lane-Karnas PE confirmed it was not part of this project.
- **Member K. Pelkey** requested additional information on the accessible parking spaces for this parking lot. B. Lane-Karnas stated though the parking lot was being re-configured, the accessible parking spaces were being relocated within the lot to provide easier access for the public.

- **Member K. Pelkey** asked about the landscaping, specifically the trees (2) proposed on the plan along West Street. B. Lane-Karnas referenced the handouts for the location of the trees and why there is room for only 2. The redesign of the lot provides just enough space for only 2 trees.
- **Member J. Bauer** Referring to the Staff Report, page 3, Section 3002.F (Sight Distance) asked which plan shows the two small trees proposed along the West Street frontage, and whether a separate landscaping plan exists or if the proposal is shown only on the site plan. B. Lane-Karnas confirmed that a landscaping plan was included as part of the application and there are two small trees as described.
- **Member M. Farnham** asked if these plants and any other plants intended for the landscaping were native to Vermont and not of an invasive species. B. Lane-Karnas stated the plants proposed in the handout were hardy, non-invasive, and are suitable for use in the landscaping portion of this project.
- **Member K. Pelkey** asked what the negotiations between the developers of Seminary Street house project and Northfield Savings Bank had with respect to any modifications to the bank's parking in the area adjacent to the housing project and Campbell parking lot. B. Lane-Karnas stated this project has had no impact on those negotiations as the Campbell Parking Lot has no housing as part of the project.
- **Member K. Pelkey** asked whether the proposed landscaping along Seminary Street is located within the public right-of-way. B. Lane-Karnas PE stated that it is not, and therefore approval from abutting property owners is not required.
- **Member L. Turner** asked about the width of the aisle / traveling lanes as it was referenced in the project that Burlington Vermont allows a 14-foot-wide travel lane, and the City requires a travel lane be 16 feet wide, the proposal for this project is to permit a variance in the footage to be reduced from 16 feet to 15 feet. B. Lane-Karnas confirmed this.

6. Public Comment: None

With no further input from the Board, or the public, Chair S. Helman stated that the Board would enter deliberative session at the close of the hearing, and also noted that the Board would return from deliberative session to issue its decision. Applicants could contact the Permit Administrator the following day for the outcome if a decision is rendered promptly, and a written Decision will be issued within two weeks.

7. Deliberative Session:

Motion by J. Bauer and seconded by K. Pelkey to end the hearing and enter deliberative session at 6:32 P.M., inviting both Planning Director and the Permit Administrator to remain. **Motion passed unanimously 5-0-0.**

Motion by L. Turner and seconded by J. Bauer to exit deliberative session at 6:42 P.M. **Motion passed unanimously 5-0-0.**

L. Turner made the motion to approve the application as presented, including staff recommendations. Motion seconded by M. Farnham. **Motion passed unanimously 5-0-0.**

8. Round Table: None

9. Executive Session: None

10. Adjournment:

Motion by J. Bauer seconded by L. Turner to adjourn the meeting at 6:46 P.M. **Motion passed 5-0-0.**

The beginning of the meeting was not recorded due to human error. The remaining open portions minutes of this hearing were recorded on the video platform.

Respectfully submitted,

Robin L Davis, Permit Administrator

**CITY OF BARRE, VERMONT
DEVELOPMENT REVIEW BOARD
REGULAR HEARING: FEBRUARY 5, 2026
NOTICE OF DECISION FOR 0 CAMPBELL PARKING LOT**

I. STATEMENT OF FACTS

1. The City of Barre Development Review Board (the "DRB") held a regular public hearing on February 5, 2026, to review the Site Plan approval for 0 Campbell parking lot for redesign and reconfiguration.
2. On December 22, 2025, Brian Lane-Karnas PE of DeWolfe Engineering Associates on behalf of the City of Barre (Owner/Applicant) filed an application and supporting documentation for approval of a site plan with the DRB.
3. The subject property is located at 0 Campbell Place (hereby referred to as Campbell parking lot), tax map ID# 0305-VL00.0001 SPAN # 036-011-10680. It is currently a 46-space parking lot on 0.54AC
4. The February 5, 2026, Regular Hearing was warned 15 days before in the Thursday, January 29, 2026, Times Argus edition per Vermont Statute 24 V.S.A. §3105(b).
5. On January 21, 2026, the Permit Administrator sent to the abutting property owners a copy of the agenda with memorandum notifying them of the regular public hearing on February 5, 2026. This was also provided to the Applicant/Owner the same day.
6. A regular public hearing of the DRB was held on February 5, 2026, in a hybrid format that allows for both in-person and digital participation. Present during the hearing were the following members of the DRB:

Sarah Helman, Chair Katrina Pelkey Jayme Bauer
Liz Turner Michelle Farnham

7. At the onset of the hearing, the DRB afforded those persons wishing to achieve status as an interested party an opportunity to participate as outlined in Vermont Statute 24 V.S.A. §4465(b). The list of persons attending the hearing is included in the Application packet, and listed:

Brian Lane-Karnas PE for City of Barre City of Barre as Owner

8. All application documentation, including a staff report prepared by the Permit Administrator in connection with the consideration of the application, is on file in Barre City Hall.

The owner of the project property and interested persons have a right to appeal this decision, within 30 days of the date this decision is issued, to the Vermont Environmental Court, pursuant to 24 V.S.A. §4471 and Rule 5(b) of the Vermont Rules for Environmental Court Proceedings, 32 Cherry Street, 2nd Floor, Suite 303, Burlington, VT 05401. The fee is payable to the Vermont Environmental Court. If you fail to appeal this decision within 30 days, you will lose your right to appeal at any future time. You will be bound by the decision, pursuant to 24 V.S.A. §4472(d) (exclusively or remedy, finality). This also applies to any interested person(s) who may have had a right to appeal.

IV. APPEAL RIGHTS

The motion passed by a vote of **5-0-0** and is therefore **APPROVED AS PRESENTED**.

1. All improvements shall comply with applicable City and State construction standards, including requirements for accessible parking, pavement design, drainage, and landscaping.
2. The Zoning Administrator is authorized to approve immaterial or non-substantial changes to the approved plans, provided such changes do not alter the overall layout, circulation pattern, or number of parking spaces.
3. Any substantial modifications to the design, layout, or scope of work shall require additional review by the Development Review Board.
4. All required permits shall be obtained prior to commencement of construction. All site work, including repaving, landscaping, and re-marking, shall be completed in accordance with the approved plans.

Based upon the aforesaid Statement of Facts and Board Findings, the City of Barre DRB hereby approves the site plan for redesign and reconstruction of Campbell Parking Lot, with the following conditions:

III. BOARD DECISION & CONDITIONS

Section 4305.A- All proposed development other than a single-family or two-family dwelling and any accessory uses or structures to such a dwelling requires site plan approval before the Zoning Administrator may issue a zoning permit.

Section 4305- Site Plan Review

The DRB has found the applicant demonstrates that the request meets applicable standards specified below:

II. BOARD FINDINGS

Dated at Barre City, Vermont, this _____ day of _____, 2026.

Sarah Helman, Chair of the DRB on behalf of the Board

**CITY OF BARRE, VERMONT
DEVELOPMENT REVIEW BOARD
AMENDMENT TO FINAL DECISION OF SPECIAL HEARING FOR 59 SUMMER STREET**

City of Barre: Development Review Board

Zoning Permit:

Applicant: Monte Properties, LLC

Property Address: 59 Summer Street

(Parcel ID 1405-00592.0000; Span ID - 036-011-12160)

Original Decision Date: January 5, 2026

Amendment Date: February 5, 2026

I. PURPOSE OF AMENDMENT

This amendment is issued to correct an error in the "Board Members Present" section of the Final Decision dated January 5, 2026. The original decision incorrectly listed Board Member **Liz Turner** as present at the hearing. Ms. Turner was not in attendance and did not participate in the hearing, deliberations, or vote.

This amendment corrects the attendance record. No findings, conclusions, or conditions of approval are altered.

II. CORRECTED ATTENDANCE RECORD

Original Text:

"Board Members Present:

Sarah Helman, Chair, Chrysta Murray, Vice Chair, Jayme Bauer,
Michelle Davis Farnham, Colin Doolittle, Katrina Pelkey and Liz Turner."

Amended Text:

"Board Members Present:

Sarah Helman, Chair, Chrysta Murray, Vice Chair, Jayme Bauer, Michelle Davis Farnham,
Colin Doolittle, and Katrina Pelkey."

Note: Liz Turner was not present and did not participate.

III. REMAINDER OF DECISION UNCHANGED

All findings, conclusions, and conditions of the Final Decision dated January 5, 2026, remain in full force and effect.

IV. BOARD VOTE ON AMENDMENT

Approved by the Development Review Board at a duly warned meeting on February 5, 2026

Members Present and Voting:

- Sarah Helman, Chair
- Liz Turner
- Katrina Pelkey
- Michelle Davis Farnham
- Jayme Bauer

At Large: Colin Doolittle and Chrysta Murray

Vote: 5-0

V. DATE OF ISSUANCE

Issued this 5th day of February

Dated at Barre City, Vermont, this _____ day of _____, 2026.

Sarah Helman, Chair of the DRB on behalf of the Board

VI. APPEAL RIGHTSBOARD VOTE ON AMENDMENT

Pursuant to 24 V.S.A. § 4471, this amended decision may be appealed to the Vermont Superior Court, Environmental Division, within 30 days of the date of issuance.

CITY OF BARRE, VERMONT
DEVELOPMENT REVIEW BOARD REGULAR MEETING MINUTES
Thursday, June 4, 2026

Location: Council Chambers, City Hall, 6 N. Main Street, Barre VT

1. Call to Order:

Chair Sarah Helman called the meeting to order at 6:01 P.M.

Roll Call:

Board Members Present:

- Sarah Helman, Chair, Ward II (In-Person)
- Chrysta Murray, Vice Chair Ward I (Video)
- Michelle Farnham, Ward I (Video)
- Jayme Bauer, Ward II (Video)
- Katrina Pelkey Ward III (In-Person)
- Colin Doolittle Ward III (In-Person)
- Philip Back, At Large (In-Person)
- Liz Turner, At-Large (In-Person)

Staff Present:

- Janet Shatney, Planning Director
- Robin L. Davis, Permit Administrator

Public Present: From presentations and Sign-in sheet In-person

- Brian Lane-Karnas P.E. representing applicant Good Samaritan Haven (GSH)
- Gregory Montgomery, Studio Architect for GSH
- Julie Bond, Executive Director for GSH
- Keith Goslant, audience for GSH
- Laurie Sabens, audience for GSH
- Reverend Earl Kooparkemp, audience for GSH
- Michael Ornitz, audience for GSH

2. Adjustments to Agenda: None

3. Visitors and Communication: None

4. Old Business:

a. Consideration February 5, 2026, Minutes:

Motion to approve was made by Katrina Pelkey and seconded by Liz Turner, motion **carried unanimously 8-0-0**. * Rescinded See c below.

b. Consideration February 5, 2026, Decision

Motion to approve decision for 0 Campbell parking lot, was made by Chrysta Murray and seconded by Jayme Bauer. The motion **carried unanimously -8-0-0**.

c. Clerical Error in minutes for February 5, 2026, noted by Liz Turner – wrong minutes were provided in the DRB Packet. Motion to rescind minutes previously approved motion was made by Liz Turner to rescind and seconded by Colin Doolittle, **motion carried unanimously 8-0-0**

d. Consideration for January 5, 2026, Final Decision with amendment to attendance:

Motion to approve made by Colin Doolittle and seconded by Jayme Bauer motion **carried unanimously 8-0-0**

5. New Business – Public Hearing:

DRB Application #Z26-000017

Applicant: Good Samaritan Haven, by and through Brian Lane-Karnas P.E.

Location: 24 Jefferson Street, MU-1 Zoning District, Conditional Use.

Request: Seeks conditional use for relocation of GSH to 24 Jefferson Street as a 24-Bed Emergency Shelter to be open 24 hours a day, 7 days a week, with a maximum stay of 90 Days.

Board Discussion: Summary of Board questions, clarifications, and discussion.

Applicant Testimony: B. Lane-Karnas, on behalf of GSH introduced himself as Civil Engineer for the project, Gregory Montgomery introduced himself as the Architect for the project and Julie Bond, identified herself as Executive Director of GSH. Chair Helman asked if they wish to continue with the hearing or postpone the hearing. It was agreed to move forward with the hearing.

Chair Helman read the brief overview of the matter before the board for the evening, asked if there was anything that needed to be read into record. R. Davis stated no.

Motion made to begin the hearing for 24 Jefferson Street application. L. Turner motioned to begin the hearing seconded by P. Back. **Carried Unanimously 8-0-0.** Hearing called to order at **6:12 P.M.**

Chair Helman reminded the audience to sign in if they had not already. Requested who was to speak about this application, and if there was anyone else here to speak to on this application. Chair Helman swore the representatives in.

The Oath was administered by S. Helman to B. Lane-Karnas, G. Montgomery, and J. Bond.

B. Lane-Karnas gave a brief presentation of the materials provided to the Board Members, including clarification of renovations of the property to accommodate the new usage of the property, including the new location being open 24 hours 7 days a week, with a maximum stay of 90 days, guests will not be required to leave during the day.

J Bond Project is an innovative to ensure that the people GSH serve are away from a flood zone and make a commitment to serve the members of the community in times of need.

Floor was opened up for questions by the board members to B. Lane-Karnas.

- **Member K. Pelkey** – Praised the work done for the presentation was great. She referred to the picture provided on the Staff Report, about the exterior structure of the house, the porch on the 2nd floor leading down to the 1st floor, will that stairway be retained? B. Lane-

Karnas replied no it was being removed. With respect to egress, all the appropriate lengths and pathways will be up to code. K. Pelkey then asked if the 3rd floor balcony on the left side of the structure will it be retained? G. Montgomery replied no as the new building will be equipped with a sprinkler system forgoing the need of the balcony.

- **Member C. Doolittle** asked if it was the plan to close the existing shelter once the new shelter is complete. J. Bond states that once this is complete, the old shelter will be closed. The future maintenance of the old location is not tenable. It is the intention of changing the old location possibility into a park. B- Lane-Karnas clarified that the Seminary Street location is not part of this project. That would be a different application.
- **Member L. Turner** inquired about the impermeable surface increase, is there any efforts to offset some of the impermeable surface increase through landscaping B. Lane-Karnas attempted to share site plan with the members of the hearing with his computer. This was unsuccessful. B. Lane-Karnas then described the landscaping plan. There aren't any specific stormwater treatment practices on site because specifics due to the size of the project and not having an impact on the wider community outside the property. Some of the increases of the impermeable in the back where the sideway and smoke shelter is off set by the removal of the front walk up to the building at least 8-9 feet, and additional landscaping in the front of the building. The landscaping plan is really robust and will be mostly a passive stormwater treatment. It does balance out as much as possible the impervious condition and adding plants to the front.
- **Member L. Turner** inquired about the driveway; the modifications plan seems great, but does it trigger the modification provision in the Unified Development Ordinance (UDO) as the grade of the driveway is being adjusted, would those plans need to be presented to Department of Public Works (DPW)? B. Lane-Karnas, they are not proposing any changes to the width or length of the driveway, it is intended to change the grade to meet accessibility requirements, taking it from a steep slope to a easier access, does not believe it would have to be put to DPW.
- **Member L. Turner** inquired about the proposed smoking shelter, concerning the 4-foot set back requirements. B. Lane-Karnas states it meets the 4-foot setback requirements.
- **Member L. Turner** inquired about the agreement between Barre Elks Lodge (BEL) and GSH, regarding ongoing maintaining of the retaining wall and dumpsters. B. Lane-Karnas, is uncertain about what that agreement will look like at this time, as it has not been drafted, but to his mind, BEL has agreed to be represented for the zoning permit. How it works out, with a formal agreement or not, is less relevant to the zoning process.

- **Member P. Back** inquired regarding the smoking shelter, as the setback is 8 feet from the main building. B. Lane-Karnas replied, it is not 8 feet from the building; it is not possible to have the 4 feet from a property line and 8 feet from the building, it is just too small.
- **Member P. Back** inquired about the fence, how will the fence effect the drainage into the adjacent lot if at all. B. Lane-Karnas replied they do not expect to have any impact on drainage; it is intended to maintain the existing drainage patterns. The lot is so small, the 12-foot set back from the rear property line crosses through the new sidewalk in the back, it's very tight and the best we can do for this project is to maintain the current drainage patterns.
- **Member P. Back** inquired concerning the removal of the walkway at the front of the building including the steps, does this mean the new entrance will be the driveway. B. Lane Karnas confirmed that the driveway would be for delivery and loading, not used as a driveway. It will be access to guests and staff will enter the building from that area; this location is controlled.
- **Member P. Back** inquired regarding DPW approval for any part of this. B. Lane Karnas stated there is no work in the right-of-way. The only thing not in the DRB Packet is the sprinkler system, as DPW will have to approve a new water connection for the sprinkler system. DPW would need to issue water and sewage allocations, it is not unusual or trigger any concerns for DPW
- **Member J. Bauer** stated her questions about egress were answered, and her questions with the MOU with BEL have also been answered. The final question has to do with ongoing landscaping, making sure everything looks nice between the 2 properties. B. Lane-Karnas, replied he was unsure what she meant about the 2 properties. He went on to describe the ongoing landscaping that is proposed, and it does meet all requirements of the zoning regulations. J. Bauer's final question was in regard to signage. B. Lane-Karnas replied that this would be done under a separation application with the city.
- **Member C. Murray** stated that all her questions were answered.
- **Member M. Farnham** inquired about 24-bed is an increase from the current facility. J. Bond stated she believed that the original permitting for the shelter was in the 20's and may be higher than 24. The number of beds were reduced during the COVID era and now they are looking to increase the capacity, but not outside the size of the original shelter.
- **Applicant B. Lane-Karnas** mentioned an item he wanted to address which was the request for reduction in minimum parking spaces. He also wanted to address the Staff Recommendations contained in the staff report. With respect to the agreement between

GSH and BEL it is requested that this not be part of the approval, since there is no agreement at this time. With respect to the lighting, this fully meets the requirements under UDO, and it is requested to omit the "residential in scale" from the staff's recommendations.

6. Public Comment: None

With no further input from the Board, or the public, Chair S. Helman stated the Board would enter into a deliberative session at the closing of the hearing. Chair S. Helman also noted the Board would return from a deliberative session to issue its decision. Applicants may contact the Permit Administrator on the following day for the outcome if a decision is rendered promptly, and a written decision will be issued within 2 weeks.

Motion by P. Back and seconded by C. Doolittle to end the hearing and enter into a deliberative session at 6:38 P.M. **Motion passed unanimously 8-0-0.**

7. Deliberative Session:

Motion by C. Doolittle to begin a deliberative session, seconded by L. Turner, inviting the Planning Director and Permit Administrator to remain. **Motion passed unanimously 8-0-0.**

Motion by K. Pelkey to close the deliberative session, seconded by C. Doolittle at 7:00 P.M. **Motion passed unanimously 8-0-0.**

8. Deliberative Session closed Meeting reopened for voting on motion of application 7:01 P.M.

L. Turner made motion to grant approval of the application with following conditions:

1. Submission of the Final Site Plan with ADA access, new walkway and driveway reconstruction and retaining wall details.
2. Any signage requests will be submitted under separation application for zoning permit approval
3. Waiver of the off-street parking requirements as requested in the application.
4. If the final agreement with regards to the retaining wall changes the design of the site plan, the new design must be submitted to DRB for approval.
5. Any immaterial or non-substantive modifications to the approved plans may be authorized by the Zoning Administrator.

Motion seconded by P. Back. **Motion passed unanimously 8-0-0**

9. Round Table: With respect to schedule DRB Meeting for July 2, 2026, this was brought up by Chair S. Helman as it is a popular holiday weekend. Who would be available to attend that meeting? S. Helman advised there were 2 applications for the next DRB Session.

A Special Meeting Date of July 13, 2026, which all members of the DRB Board stated they were available except for C. Doolittle as this was his last DRB meeting since his term was complete.

10. Adjournment:

Motion by J. Bauer to adjourn meeting, seconded by C. Murray. The meeting closed at 7:35 P.M.

Respectfully submitted,

Robin L Davis, Permit Administrator



City of Barre, Vermont
"Granite Center of the World"

RECEIVED

JUN 4 2026

Barre City Assessing
Permitting & Planning Office

COVER SHEET

Please provide all of the information requested in this application. Failure to provide all the required information may delay the process for obtaining a permit.

* PHYSICAL LOCATION OF PROJECT (911 address): 17 SOUTH MAIN ST, BARRE, VT 05641

APPLICANT	PROPERTY OWNER (if different than applicant)
Name <u>BARRE EVANG. FREE CHURCH</u>	Name _____
Mailing Address <u>P.O. Box 277</u>	Mailing Address _____
<u>BARRE, VT 05641</u>	Address _____
Daytime Contact Phone <u>802/476-5344</u>	Daytime Contact Phone _____
Email _____	Email _____

Mail all permit Materials to: **APPLICANT** or **OWNER** (circle one)

PRESENT USE(S) OF PROPERTY

☐ Single Family	☐ Single Family w/ADU	☐ Duplex	☐ Triplex (3-unit)	☐ Quadplex (4-unit)	☐ Multi-Family (5 or more units)
☐ Comm/Mixed Use	☐ Industrial	☒ Institutional	☐ Vacant Building	☐ National Register of Historic Building?	☐ Other:

PERMIT(S) BEING APPLIED FOR UNDER THIS PROJECT

☐ Zoning Permit	☐ Flood Hazard Permit	☐ Building Permit	☐ Electrical Permit	☒ DRB Decision
--	--	--	--	--

PROPOSED USE(S) OF PROPERTY

☒ Same as Existing	☐ Additional Bedrooms? Y ☐ N ☐
☐ New Principal Building	☐ Any work within the City right-of-way? Y ☐ N ☐
☐ Major Renovation to existing principal building	☐ Any change in water or sewer service? Y ☐ N ☐
☐ Accessory Structure >120 ft ²	☐ Removing Fill <10 cy ²
☒ Construction Cost Estimate: <u>\$</u>	☐ Adding Clean Fill <10 cy ²
☐ Parking Spaces added. How Many? _____	☐ Subdivision
☐ Boundary Line Adjustment	☐ Other: _____

PROJECT DESCRIPTION

* Part 1 - Chain link fence with swing-open door/gate with locking mechanism to be installed at the alcove area located to the right side of the main entrance; Part 2 - Chain link fence with swing open door/gate to be installed at the rear of the building in proximity to the L.P. tank and fuel oil tank entrance.

Page 1 of 2 (over pls)

For Office Use Only:

Zone Dist: _____ DRO? Y ☐ N ☐ HRO? Y ☐ N ☐ Flood Area Zone: _____ Fees Rec'd: \$175.00

☐ Code Enforcement Review ☐ Administrative Permit ☐ Referred to the VTANR for Floodplain Review ☐ Referred to the DRB

B 26-000036 E _____

SITE PLAN

Is a site plan attached showing existing and proposed conditions? ☒ Y ☐ N

The minimum requirements for a site plan are property lines, streets, existing and proposed structures, setbacks from property lines of proposed structures, scale, north arrow.

Does your project involve new construction, addition, alteration, renovation or repair to a structure? ☐ Y ☒ N

If yes, you may have to record a Vermont Residential/Commercial Energy Standards (RBES or CBES) Certificate in the Land Records prior to receiving your Building Certificate of Occupancy. Please contact Energy Code Assistance Center at (855) 887-0673 or on line at: <https://publicservice.vermont.gov/efficiency>.

DISCLAIMER AND SIGNATURE

The undersigned hereby requests a permit for land development as described in the Project Description and certifies that the information presented is true and accurate to the best of my knowledge, and understands that if the application is approved, any permits issued, and any attached conditions will be binding on the property.

I understand that permits run with the land, and that the compliance is ultimately the property owner's responsibility. I understand that if more information becomes available to staff, additional review and fees may be required. I also understand that this permit, if issued, will be deemed null and void in the event any material information upon which it is based is found to be incorrect or misrepresented.

Further, the undersigned authorizes the Permit Administrator and/or the Building Inspector access, at reasonable times, to the property covered by the permit issued under this application, for the purposes of ascertaining compliance with said permit.

Martin McMeel

APPLICANT (print)

APPLICANT (signature)

6/25/26

DATE

PROPERTY OWNER (if different than Applicant-print)

PROPERTY OWNER (signature)

DATE

This cover sheet is for a local City of Barre, VT permits only. Your project may also require State permits. You retain the obligation to identify, apply for, and obtain relevant State permits. For potential Dept. of Environmental Conservation permits, you are advised to visit the Permit Navigator Portal at <https://dec.vermont.gov/permitnavigator>; You are also advised that State construction permits may be needed, and to check with the Department of Public Safety, at (802) 479-4434 to determine what permits, if any must be obtained by that Agency; <https://firesafety.vermont.gov/buildingcode/permits>.



City of Barre, Vermont

"Granite Center of the World"

Updated January 2026

JUN 4 2026

ZONING PERMIT APPLICATION

Check all activities involved in this application:

Barre City Assessing
Permitting & Planning Office

☐	New Home or Garage Construction	☐	Site Work
☐	All other construction/addition/alteration	☐	Pool (if greater than 20' wide or 5' in depth)
☐	Accessory Structure, greater than 120 sq. ft.	☐	Construction Job Trailer
☐	Interior Renovation (adding a bedroom)	☐	Permanent Sign
☐	New apartment	☐	Temporary Sign/Banner
☐	Accessory apartment	☐	Sandwich Board Sign
☐	Deck - porch - steps - ramp - handicapped ramp	☐	Home Occupation/Business
☐	Change of Use	☐	Boundary Line Adjustment/Subdivision
☐	Demo in Historic District (needs DRB approval)	☐	Parking Lot
☒	Fence or Wall	☐	Soil / Sand / Gravel Extraction
☐	Temporary Structure	☐	Dimensional Waiver/Appeal/Variance Request (DRB approval)
☐	Temporary Certificate of Compliance	☐	Certificate of Compliance
☐	Other: _____		

ESTIMATED COST OF PROJECT: \$ 8,350.00 * (required)

Fee for starting work without a permit is \$150

If work has been started by applying for and receiving a permit, you are in violation of City Ordinance and are subject to a fine of \$150 per day for each day in addition to the application fee and any other applicable fees.

ZONING APPLICATION FEES (check all that apply)¹:

1. Cost of Residential Development:

Cost of Commercial Development:

☐	\$20	Residential 1-4 Units (\$1 - \$5,000)	☐	\$50	Comm., Indus., Mixed Use, Res 5+ Units (\$1 - \$10,000)
☐	\$40	Residential 1-4 Units (\$5,001 - \$10,000)	☐	\$100	Comm., Indus., Mixed Use, Res 5+ Units (\$10,001 - \$25,000)
☐	\$75	Residential 1-4 Units (\$10,001 - \$25,000)	☐	\$200	Comm., Indus., Mixed Use, Res 5+ Units (\$25,001 - \$150,000)
☐	\$100	Residential 1-4 Units (\$25,001 - \$150,000)	☐	\$300	Comm., Indus., Mixed Use, Res 5+ Units (\$150,001 - \$350,000)
☐	\$150	Residential 1-4 Units (\$150,000 +)	☐	\$400	Comm., Indus., Mixed Use, Res 5+ Units (\$350,000 +)

2. Specific Usage Costs (fees added to what is checked in #1 above, if they apply):

☐	\$40	Site Work	☐	\$50	Subdivision Final Plat Approval
☐	\$40	Permanent Signs	☐	\$40	Boundary Line Adjustment
☐	\$40	Sandwich Board Sign	☒	\$40	Fences / Walls
☐	\$30	Temporary Sign/Banner	☐	\$30	Certificate of Compliance (project specific)
☐	\$40	Change of Use	☐	\$15	Temporary Certificate of Compliance (project specific; +\$10/mo up to an additional 12 mo.)
☐	\$40	Home Occupation/Home Business	☐	\$20	Temporary Structure
☐	\$20	Subdivision Sketch Plan Approval	☐	\$175	Development Review Board Fee

NOTE: If more than one category applies in Table 2 above, the highest fee is required of all checked.

FEE SUMMARY: ALL PERMIT APPLICATION FEES ARE NON-REFUNDABLE

Fees Due from Table 1:	
Fees Due from Table 2:	
After-the-fact Fee (if applicable, \$150)	
Required Land Record Recording Fee (*DRB exempt from this recording fee)	\$ 15.00 *
Zoning Permit Application Fee Total:	

* Development Review Board Hearing Fee ONLY \$175 (no fees from Tables 1 & 2 and recording fee required)

Subject to change

Robin Davis

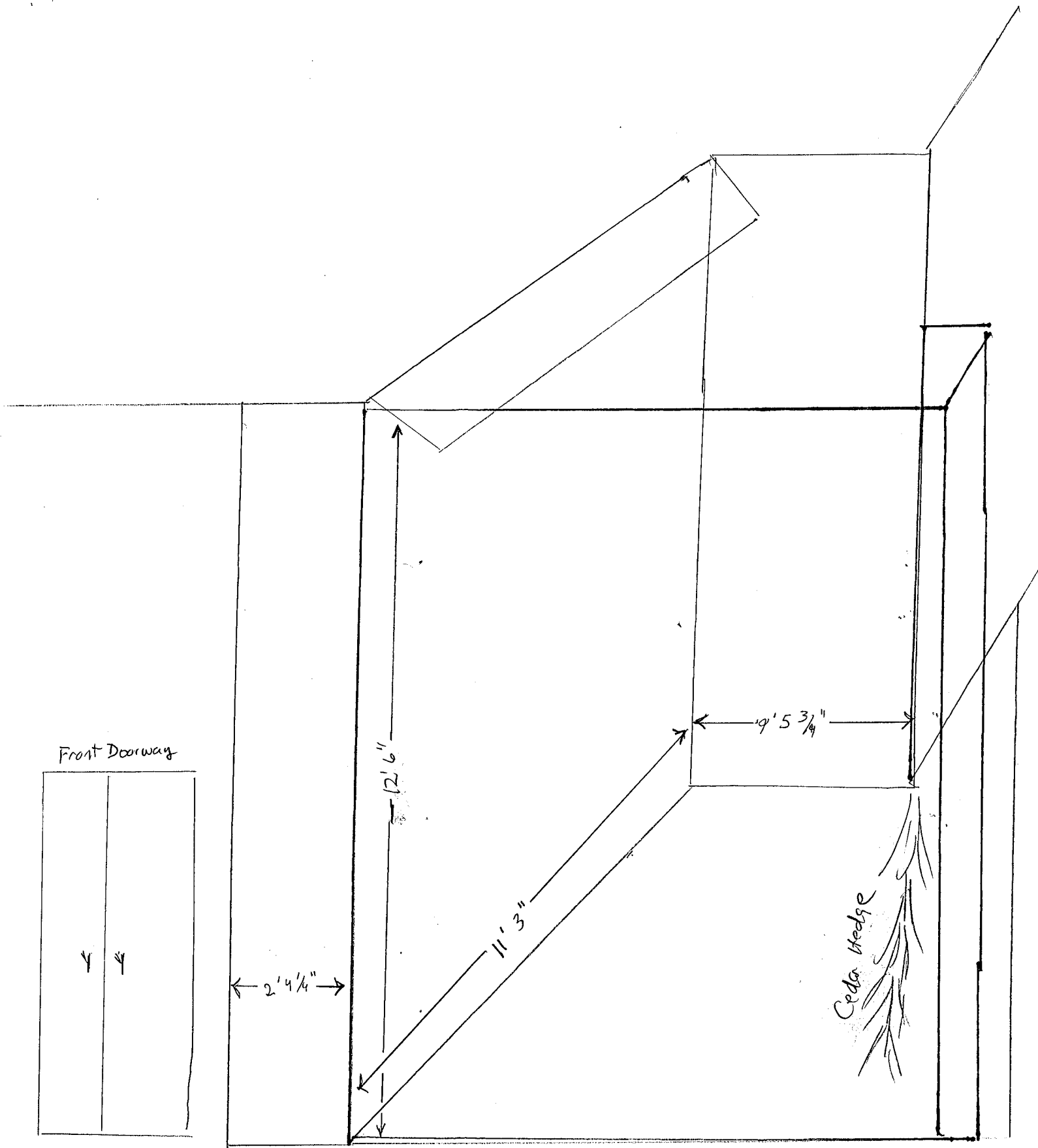
From: martinfb111 <martinfb111@protonmail.com>
Sent: Thursday, June 4, 2026 6:24 AM
To: Robin Davis
Subject: BEFC Fence Project

You don't often get email from martinfb111@protonmail.com. [Learn why this is important](#)

Hi Robin. Thanks for meeting with me yesterday. As I had indicated when we spoke, the estimated cost of the project will probably change as an increase. The reason for this is the cost of the fencing. What BEFC is proposing is a non-standard installation; extra amount of fencing required and the cost to the contractor can not be known until the actual purchase of the material. If the City of Barre approves our request and the contractor is requested to proceed, BEFC can get the final project cost and provide that to the application. Thanks for you help.

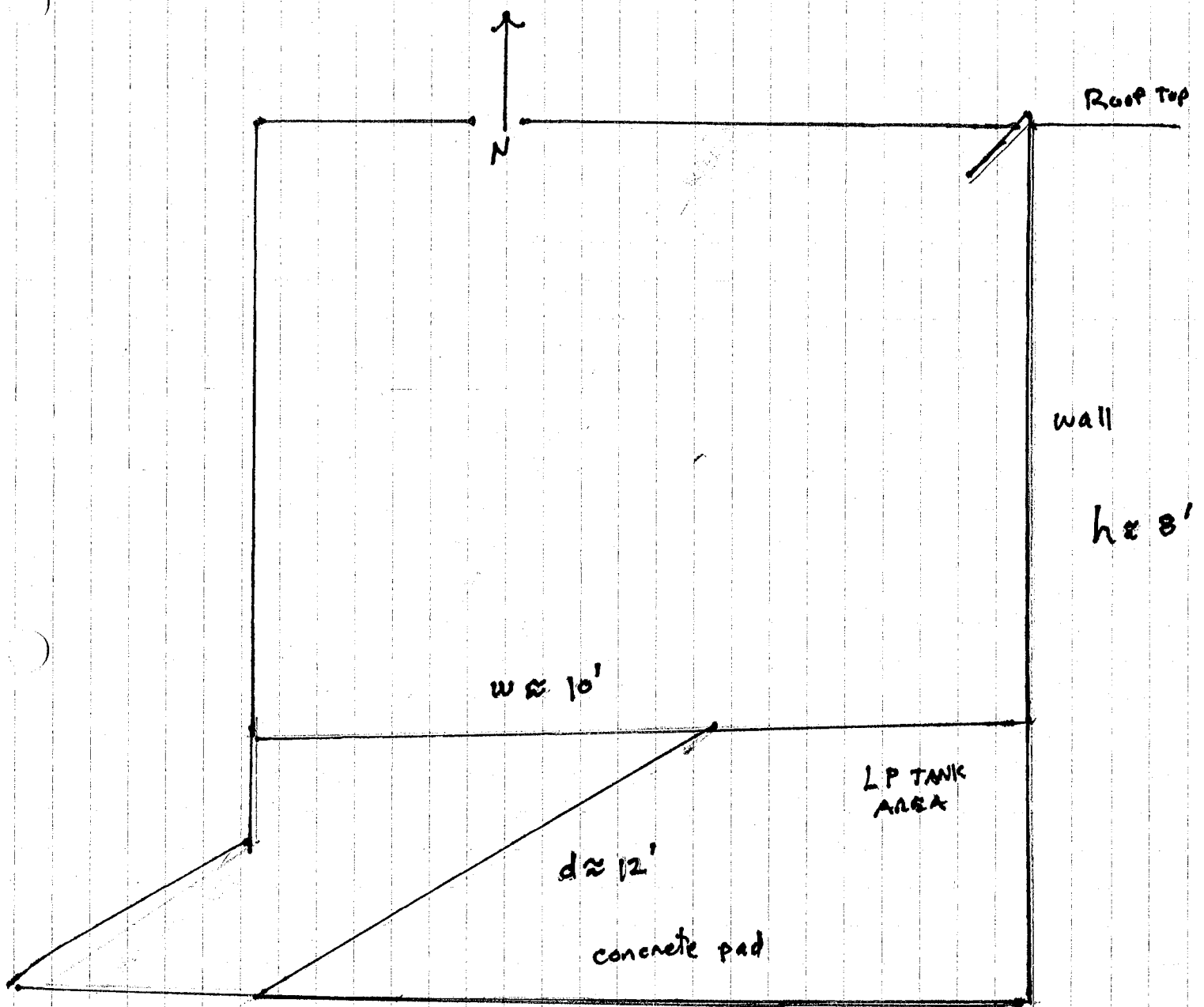
Martin McMahon
Building Deacon
BEFC

Sent with [Proton Mail](#) secure email.



BRFC Main Entrance Area Looking West

Proposed Fence outline



Back side of BEPC BLDG. Looking North

Proposed Fence Outline

Proposal for Chain Link Fence Installations At
Barre Evangelical Free Church (BEFC)
17 South Main Street
Barre, VT

I. Problems:

A. Vagrants and trespassers contributing to the following:

1. Garbage left on church property;
2. Hypodermic needles left on church property;
3. Human feces being left on church property;
4. Human urine being left on church property;
5. Luggage and clothing left on church property;
6. Vagrants "living" on church property;
 - a. Please see attached photographs.

II. The problems stated above are contributing to the following:

A. Unappealing aesthetics of church property;

1. Garbage is an eyesore for the church specifically and generally, to the City of Barre;

B. Health and safety issues to any and all persons approaching church property:

1. Used hypodermic (contaminated) needles are a particular threat to children attending church who may not understand the danger of exposure to these items;
2. Human waste is not only a health threat to church attendees but to the general public as well;
3. Luggage and clothing left on church property contributing to "slum" type of appearance of the church property;
4. Vagrants living in the specified areas of church property are intimidating to church ladies who approach the front entrance during weekdays to attend Bible studies;

III. Proposal:

A. BEFC proposes to install two chain link fences in two specified areas on church property in order to eliminate the problems presented earlier in this document.

1. Area 1: Right side of the main entrance doorway of the building, between the building walls and the stone wall and among the hedge located at the edge of the property;
2. Area 2: Backside of the church building adjacent to the railroad tracks, in proximity to the LP tank and the fuel oil storage room.

IV. Pertaining to Barre City Unified Development Ordinance:

A. Section 3015.C (1) and (2): BEFC requests that the church be allowed to exceed the height limitation so as to reduce the probability that trespassers can “jump” the fence to enter the restricted areas.

B. Proposed fence height to be:

1. Front fence: Approximately 12 ft. 6 in.
2. Rear fence: Approximately 12 ft.

V. Pertaining to the railroad:

A. The understanding of BEFC is that as long as fence construction is contained at or within the yellow demarcation line, the railroad will not have any issue.
(See map photograph dated May 15, 2025.

VI. Photographic Evidence of the Problems:

A. Front of building:

1. [F1] Trash
2. [F2] Trash among the cedar hedge;
3. [F3] Trash and clothing near the stone wall;
4. [F4] Trash and toilet paper in the foreground;
5. [F5] Personal belongings between the cedar hedge and the stone wall;
6. [F6] Sleeping bag between the building wall and the stone wall;

7. [F7] Stolen sign, trash and human excrement at the corner of the front of the building;

8. [F8] Same as [F7]

B. Back of building:

1. [B1] Trash near building walls;

2. [B2] Trash and graffiti near LP tank;

3. [B3] More trash and graffiti near LP tank;

4. [B4] Beer can and human excrement
between LP tank and building wall;

5. [B5] Clothing and trash at the LP tank;

6. [B6] Hypodermic syringe on ground in front of the LP tank area;



F1

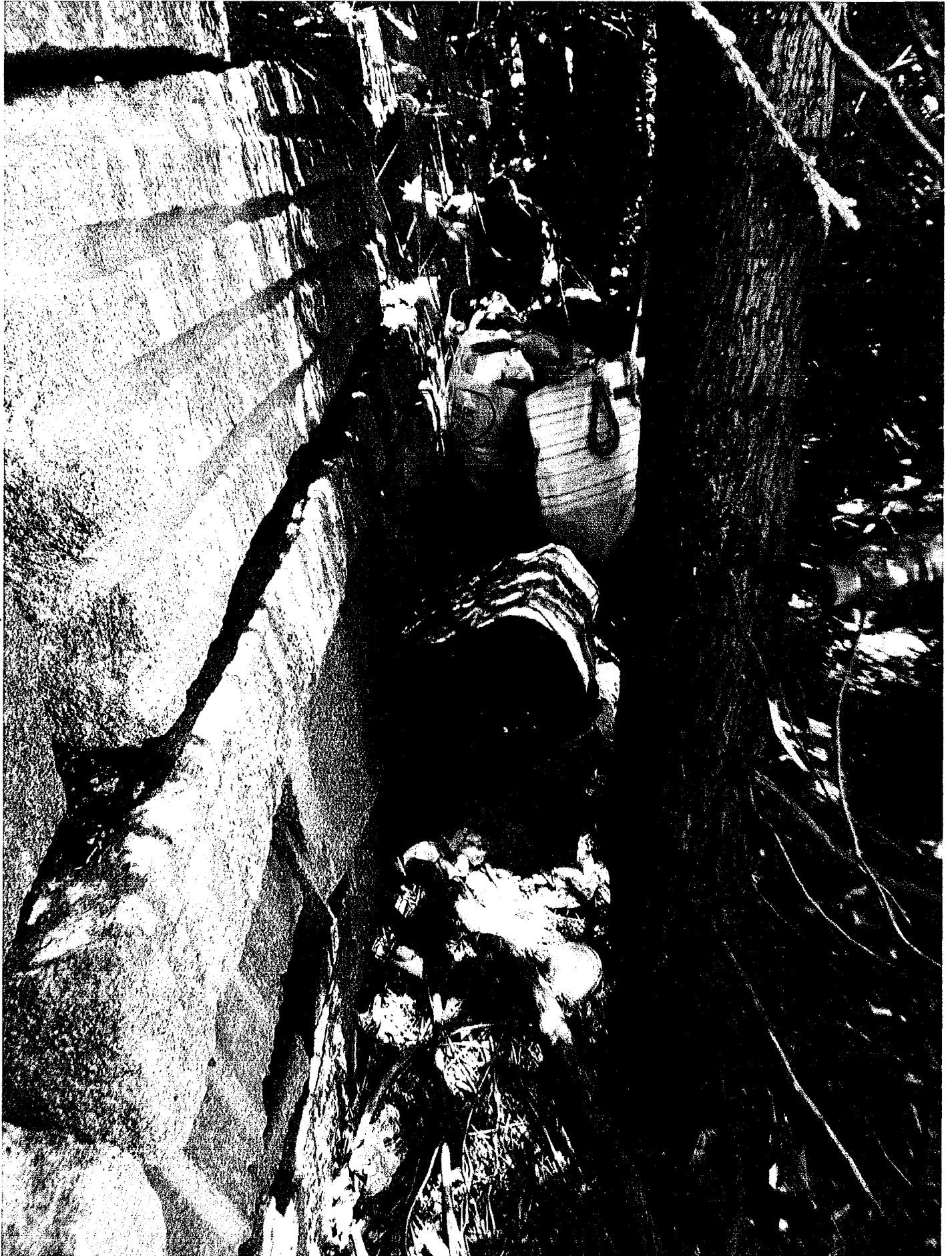




F 3



F4



F5



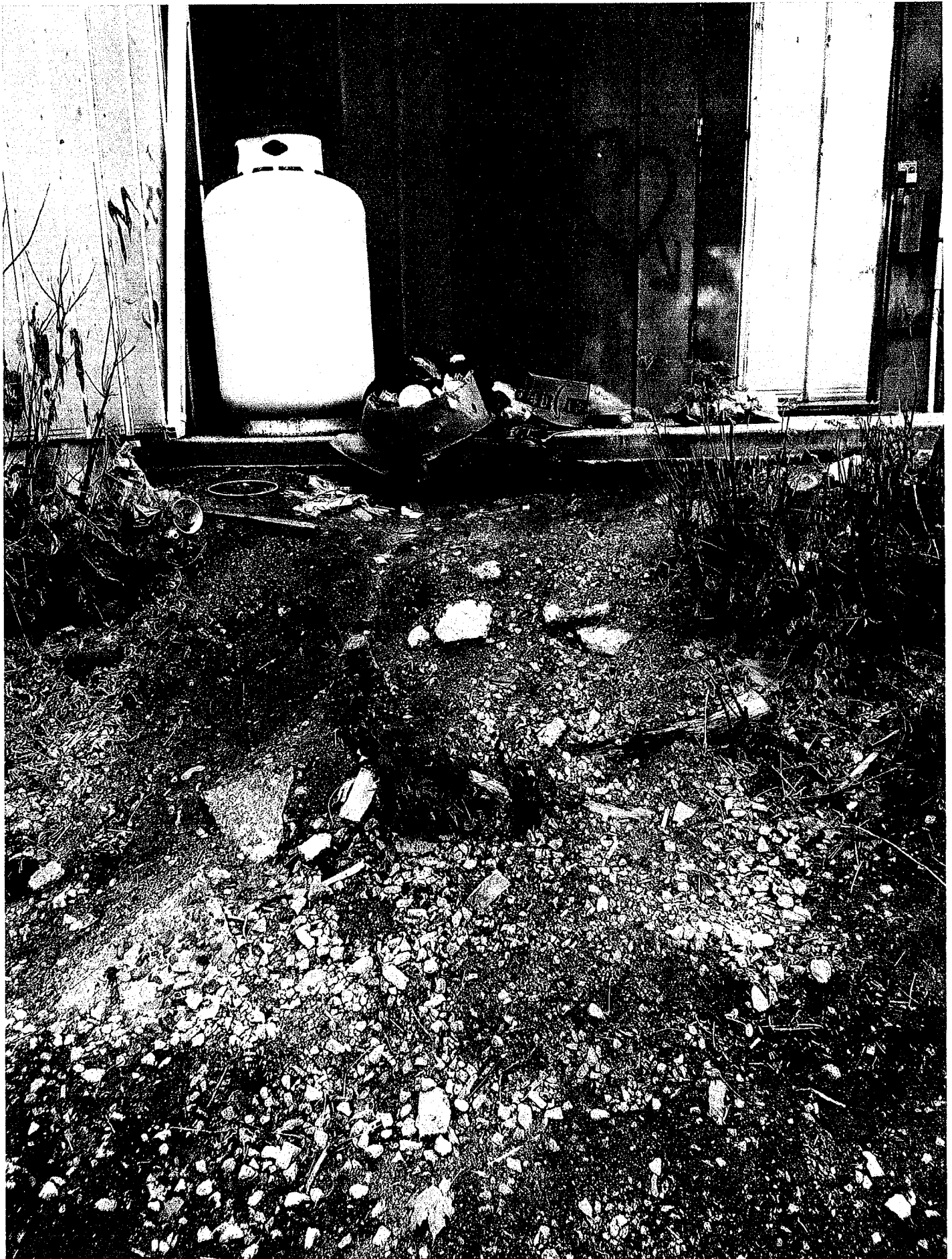








B2





B 4

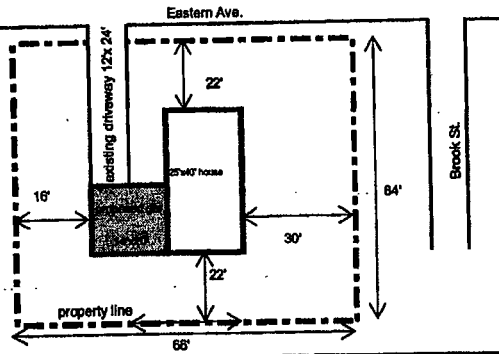


B5



Sample Site Plan

1" = 30'

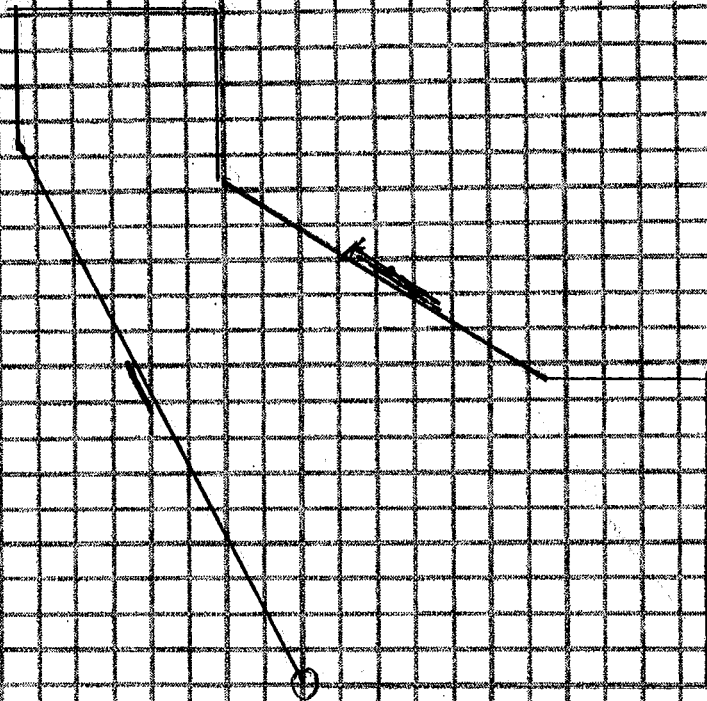


Provide a sketch below for your property and the proposed improvements for the following:

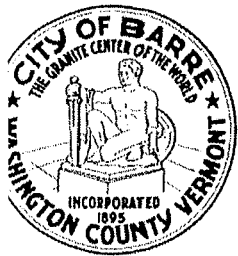
Location of all existing and proposed structures, dimensions, setback distances, etc.

Additional information may be needed, so be as thorough as possible.

Should you need to attach any further drawings or photos, additional sheets shall be no larger than 11x17 in size.



Proposed Fencing Areas



City of Barre, Vermont
Office of Planning, Permitting & Assessing
Services
6 N. Main Street, Suite 7
Barre, VT 05641
(802) 476-0245 ~ www.barrecity.org

BARRE CITY DEVELOPMENT REVIEW BOARD AGENDA
SPECIAL Meeting held on July 13, 2026, ~ 6:00 P.M.
City Hall Council Chambers

Hybrid Meeting (In-person and Virtual)

<https://us02web.zoom.us/j/86339039737?pwd=ltmJgcmhiZhqGlVPWyxe1U21GEDLru.1>

Meeting ID: 863 3903 9737 ~ Passcode: 124905

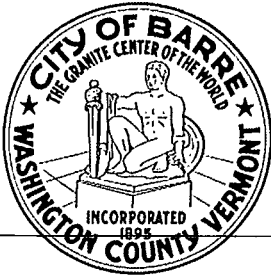
1. Call to Order 6:00 pm
2. Adjustments to the Agenda
3. Visitors and Communications
4. Old Business
 - Consideration of Minutes from February 5, 2026, Hearing
 - Consideration of Decision from February 5, 2026, Hearing
 - Consideration of Final Decision from January 5, 2026, Hearing
 - Consideration of Minutes from June 4, 2026, Hearing
5. New Business

Barre Evangelical Free Church(BEFC) (owner and applicant), 17 S. Main Street, Barre VT, seeks approval to exceed UDO fence height limits. The property is located in UC-2, Zoning District, Design Review Overlay District.

City of Barre, VT (Owner); Stevens Branch Limited Partnership (Applicant) 11 Seminary Street and 1 Campbell Street seeks approval to amend the original November 7, 2024, to reduce tenant storage, change in fencing material and increased lighting. The project is located in the UC-1 Zoning District, Design Review Overlay.
6. Deliberative Session
7. Next Meeting scheduled for: August 6, 2026, at 6:00 pm
8. Roundtable – as needed
9. Executive Session – as needed
10. Adjourn

Participation Note: Under Chapter 117 Title 24 of the Vermont State Statutes, participation in these proceedings is a prerequisite to the right to make any subsequent appeal. You will lose the right to appeal the final decision unless you participate in the process by offering, through oral or written testimony, evidence or a statement of concern related to the application being reviewed. Oral testimony must be given at the public hearing. Written testimony must be submitted prior to the closing of the public hearing.

Development Review Board hearings are open to the public.
For questions about accessibility or to request accommodation, please call (802) 476-0245.



PLANNING & PERMITTING

6 N. Main Street, Suite 7
Barre, VT 05641
(802) 476-0245
Barrecity.org

DEVELOPMENT REVIEW BOARD STAFF REPORT

Hearing Date: July 13, 2026

Application Received: June 3, 2026

Application Deemed Complete: June 18, 2026

Applicant(s): Stevens Branch Apartments
Limited Partnership

Owner(s): City of Barre

Consultant 1: Brian Lane-Karnas, PE.,
DeWolfe Engineering a division of Dubois &
King

E-911/Postal Address: 11 Seminary Street and 1 Campbell Place

Parcel Number: 1295-VL00-0001 and 0305-0001-0000

School Parcel Account Number(s) (SPAN): 036-011-10736 and 036-011-12583

Existing Size: 0 Seminary Street 0.41ac and 1 Campbell Place 0.19ac

Zoning District(s): UC-1

Permit #Z26-000028



INTRODUCTION

Noticed Summary of Proposal: The applicant, Stevens Branch Apartments Limited Partnership (SBALP), seeks approval to amend the November 4, 2024, DRB decision on the approved multifamily residential project. The amendment consists of proposed changes to outdoor lighting in accordance, changes to trash/composting/recycling storage screening, and a request for a variance from the bulk storage requirements.

Comments: The review refers to relevant sections of the Barre Unified Development Ordinance (UDO). Robin Davis, Permit Administrator (referred to as Staff) has reviewed the application materials, and plans submitted and have prepared the comments noted in this report.

APPLICATION, JURISDICTION & NOTICE

Application: This matter comes before the City of Barre Development Review Board (DRB) for consideration to amend the original DRB decision for this project. The changes consist of changes to the outdoor lighting, trash/composting/recycling/storage screening, and a request for variance in the bulk storage requirements for each unit.

Applicant(s): Stevens Branch Limited Partnership

Landowner(s): City of Barre

Project Consultant(s): Brian Lane-Karnas, PE of DeWolfe Engineering

Application Submissions & Completion: The application form and associated exhibits were received by Planning and Zoning Department on June 3, 2026. The application was deemed complete by Staff on June 18, 2026.

General Jurisdiction: Applies because the project falls under the regulatory authority of the UDO.

Warning/Notice of Hearing: Public warning was issued by the Planning, Permitting & Assessing Services Department for the hearing, according to the Vermont State Statutes Annotated Chapter 24 §4464. A list of adjoining property owners notified is maintained in the applicant's file.

PROJECT SUMMARY

The proposed change to the approved design includes:

- An increase in the number of ceiling-mounted light fixtures beneath the building overhang, with lower lumens.
- Change of material for fencing at the exterior trash, composting and recycling storage areas, from wood to chain-link with privacy slats
- A reduction in storage area provided for apartment tenants.

No other changes have been requested from the originally approved project.

APPLICABLE STANDARDS

Section 3102 – Outdoor Lighting

Section 3102.C.(3) Total output: Total output from all light fixtures on site must not exceed the limits specified in Figures 3-5 or Figure 3-6 as applicable:

Under Figure 3-6; Total Light Output (Class 1-3) All light fixtures (fully + partially shielded) Partially shielded light

fixtures only 2.5 lumens per sq ft of developed lot area max 0.25 lumens per sq ft of developed lot area max.

Section 3108 Trash, Composting, and Recycling Storage Areas (“herein after referred to as trash storage area”)

Section 3108.A

General Standards. All proposed development subject to site plan review must provide trash, composting and recycling storage areas as follows:

- (1) Trash, compost and recycling storage areas must be located:
 - (a) Within the principal or an accessory building or inside an enclosure located to the side or rear of the building; and
 - (b) Outside required setbacks as shown on the approved site plan.
- (2) All outdoor trash, compost and recycling storage areas and containers must be located on a hard surface (i.e., asphalt or concrete).
- (3) Trash, compost and recycling storage areas must provide adequate space for the maintenance and servicing of containers.
- (4) Enclosures must be at least 5 feet in height and must obscure all materials and/or containers stored inside.
- (5) Enclosures must be constructed of materials that are compatible with the buildings they are intended to serve.
- (6) Any doors or gates to trash, compost and recycling storage areas must remain closed and latched except when being accessed for deposit, maintenance, service or collection.
- (7) Trash, compost and recycling storage areas must be accessible and convenient for building residents/tenants and for collection vehicles.

Section 3106 Screening

Section 3106.G Fences

Fences used for screening must conform to **Section 3015** and also must:

- (1) Be completely opaque between a height of 1 and 5 feet above the ground
- (2) Be made of wood, concrete, masonry, stone or metal; and
- (3) Not be made of corrugated or galvanized steel or metal sheets or be chain link fence with inserts

3015.D Materials. Unless otherwise approved by the Development Review Board, a fence or wall:

- (1) Must be constructed of permanent material such as wood, chain link, stone, rock, concrete, brick, decorative wrought iron or other materials of similar durability;
- (2) Must be constructed so that any support posts are to the inside and the “finished” or “good” side faces out; and
- (3) Must not be constructed of barbed wire, razor wire or similar materials capable of inflicting significant physical injury except as required to meet state or federal regulations.

Section 3201.C – Bulk Storage

Each dwelling unit must include a secured, enclosed bulk storage area at least 30 square feet in area and not less than 4 feet in any dimension for the exclusive use of unit residents as follows:

- (1) The storage area may be located within or separate from the dwelling unit.
- (2) The storage area may be located within the building or within an accessory building(s)
- (3) If the storage area will be located within a private garage, it must be in addition to the area necessary to accommodate any required parking.
- (4) The Development Review Board may reduce or waive this requirement for **existing buildings and buildings**

undergoing rehabilitation only.

STAFF FINDINGS

Outdoor Lighting (UDO Section 3102)

The applicant submitted a request to amend the previously approved exterior lighting plan for the building. The original plan included 11 ceiling mounted exterior light fixtures located under the upper floor overhang and at the driveway and rear entrance. The requested amendment increases the number of ceiling mounted fixtures from 11 to 22. No changes are proposed to fixture type, fixture style, or mounting height. The additional fixtures are intended to improve illumination and enhance pedestrian safety around the building perimeter.

3102.C(3) The revised lighting plan continues to meet all requirements of UDO Section 3102, including fixture shielding, placement, and light spill limitations. The total light output for the developed lot area is calculated at 2.4 lumens per square foot, which remains below the UDO maximum of 2.5 lumens per square foot. The additional fixtures will increase visibility around the building without exceeding ordinance limits or creating adverse impacts on neighboring properties. Calculation is $24/22 = 0.109$ Lumens Per light. Understood and met.

Trash, Composting and Recycling Storage Areas (UDO 3108)

The applicant states that under this section the chain-link with privacy slats can meet functional screening requirements.

3108.A General Standards. All proposed development subject to site plan review must provide trash, composting and recycling storage areas as follows:

3108.A(5) Enclosures must be constructed of materials that are compatible with the buildings they are intended to serve. Not met. All other portions of Section 3108 are not triggered and therefore do not require further review.

Fences (UDO Section 3106.G)

The applicant proposes replacing the previously approved wooden trash storage area fence with chain-link fencing with privacy slats.

3106.G(3) prohibits chain-link fencing with inserts for required screening. All fences for screening purposes are required to be fully opaque between 1 and 5 feet above grade and constructed of wood, concrete, masonry, stone, or metal. Fencing cannot be made of corrugated, galvanized steel or metal sheets or chain link fencing with inserts.

The proposed chain-link with slats does not meet these material requirements for screening purposes. Section 3015 does not pertain to interpretation.

Bulk Storage (UDO §3201.C – Variance Request)

3201.C requires each dwelling unit to have a secured, enclosed storage area of at least 30 sq ft, with no dimension less than 4 ft in any dimension for the exclusive use of unit residents as follows:

- (1) The storage area may be located within or separate from the dwelling unit. Understood.
- (2) The storage area may be located within the building or within an accessory building(s). Understood.
- (3) If the storage area will be located within a private garage, it must be in addition to the area necessary to accommodate any required parking. Not Applicable.
- (4) The Development Review Board may reduce or waive this requirement for existing buildings and buildings undergoing rehabilitation only. Not Met

The applicant states that additional interior space is necessary to accommodate critical building components, including the elevator, accessible bathrooms, mechanical and electrical systems, and structural elements. To achieve this, the applicant proposes reduced bulk storage areas for 22 of the 32 units and is requesting a variance from the UDO bulk storage requirement.

Due to the requirement of 3201.C(4) the UDO does not permit bulk storage variances for new construction. Therefore, this criterion is not met.

STAFF RECOMMENDATION

Staff recommends the following, with conditions to ensure project quality and consistency with the intent of the UDO.

Recommendations with Conditions:

1. Outdoor Lighting – Approve. Total illumination must stay below the maximum of 2.5 lumens/sq ft.
2. Fences – Deny chain link with privacy slats.
3. Trash, Composting and Recycling Storage Areas – Deny, chain link with privacy slats. The enclosure material must be compatible with the new building. Provide revised Trash Storage Area screening material.
4. Bulk Storage – Deny. Storage must meet minimum square footage. Storage must be inside each unit, inside the building, or in an accessory structure.

WHAT'S NEXT

Decision: The DRB has 45 days from the close of the hearing to issue a written decision. The DRB aims to finalize decisions at the next available DRB meeting; however, additional time may be needed. The applicant will receive a copy of the decision by USPS Certified Mail. The official date of issuance is the date the decision is mailed by Certified Mail. All other interested persons who signed in at the hearing will also receive a copy of the decision by USPS First Class Mail.

Robin Davis

From: Brian Lane-Karnas <blane-karnas@dubois-king.com>
Sent: Wednesday, June 3, 2026 9:37 AM
To: Robin Davis
Cc: Sara Bosworth; droy; bhoppe; Ben Sturtz; Sandra Silla; Nicola Anderson; Nicolas Storellicastro
Subject: Stevens Branch Apartments, Application for Project Changes
Attachments: Site Plan Review Form fillable 03-08-22.pdf; Stevens Branch Fee - Your receipt from Xpress-Pay.com1.pdf; Stevens Branch Housing Plans.pdf; Zoning Permit Application Form January 2026 fillable.pdf; 2026.06.02 Zoning Cover Letter.pdf; Cover Sheet July 2023 fillable Signed.pdf

Robin,

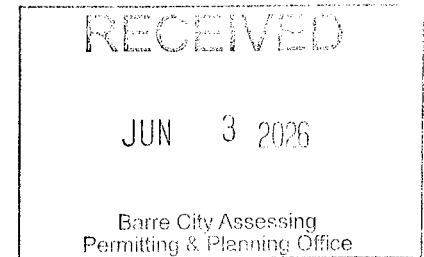
Attached is an application for DRB review of proposed amendments to the Stevens Branch Apartments project located at 11 Seminary Street. As we have previously discussed by email, proposed changes include a reduction in tenant storage area, a change in material of the trash area screening fence, and an increase in lighting under building overhangs.

Please let me know if you need anything else to notice the application for the July DRB hearing.

Thanks,
Brian Lane-Karnas, PE
Senior Project Manager
Professional Engineer licensed in VT

I will be out of the office from June 8th through June 12th with limited access to email.

DeWolfe Engineering Associates
A Division of DuBois & King, Inc.
PO Box 1576
317 River Street
Montpelier, VT 05601-1576
802.223.4727 Main Office Line
802.613.3001 Direct Line





City of Barre, Vermont
"Granite Center of the World"

COVER SHEET

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JUN 3 2026

Barre City Assessing
Permitting & Planning Office

Please provide all of the information requested in this application. Failure to provide all the required information may delay the process for obtaining a permit.

PHYSICAL LOCATION OF PROJECT (911 address): 11 Seminary Street

APPLICANT		PROPERTY OWNER (if different than applicant)	
Name	Stevens Branch Limited Partnership	Name	City of Barre
Mailing Address	c/o Evernorth, 100 Bank Street Burlington, VT 05401	Mailing Address	6 North Main Street Barre, VT 05641
Daytime Contact Phone	(503) 358-9671	Daytime Contact Phone	(802) 476-0240
Email	BSturtz@evernorthus.org	Email	citymanager@barrecity.org

Mail all permit Materials to: APPLICANT or OWNER (circle one)

PRESENT USE(S) OF PROPERTY

☐ Single Family	☐ Single Family w/ADU	☐ Duplex	☐ Triplex (3-unit)	☐ Quadplex (4-unit)	☐ Multi-Family (5 or more units)
☐ Comm/Mixed Use	☐ Industrial	☐ Institutional	☐ Vacant Building	☐ National Register of Historic Building?	☒ Other: Parking

PERMIT(S) BEING APPLIED FOR UNDER THIS PROJECT

☒ Zoning Permit	☐ Flood Hazard Permit	☐ Building Permit	☐ Electrical Permit	☒ DRB Decision
---	--	--	--	--

PROPOSED USE(S) OF PROPERTY

☐ Same as Existing	☒ Additional Bedrooms? Y ☒ N ☐
☒ New Principal Building	☒ Any work within the City right-of-way? Y ☒ N ☐
☐ Major Renovation to existing principal building	☒ Any change in water or sewer service? Y ☒ N ☐
☐ Accessory Structure >120 ft ²	☐ Removing Fill <10 cy ²
☒ Construction Cost Estimate: \$ 13,505,000	☐ Adding Clean Fill <10 cy ²
☐ Parking Spaces added. How Many? _____	☐ Subdivision
☐ Boundary Line Adjustment	☐ Other: _____

PROJECT DESCRIPTION

The project is the construction of a new five-story, 32 unit multi-family residential building in an existing parking lot. This application is to request an amendment of the previously issued DRB approval for reduced tenant storage and revised waste area screening and site lighting.

Page 1 of 2 (over pls)

For Office Use Only:

Zone Dist: _____ DRO? Y ☐ N ☐ HRO? Y ☐ N ☐ Flood Area Zone: _____ Fees Rec'd: \$ 175.00 *ms*

☐ Code Enforcement Review ☐ Administrative Permit ☐ Referred to the VTANR for Floodplain Review ☐ Referred to the DRB

B _____ - _____ z 26 - 00028 F _____ - _____ E _____ - _____

u/R

SITE PLAN

Is a site plan attached showing existing and proposed conditions? ☒ Y ☐ N

The minimum requirements for a site plan are property lines, streets, existing and proposed structures, setbacks from property lines of proposed structures, scale, north arrow.

Does your project involve new construction, addition, alteration, renovation or repair to a structure? ☒ Y ☐ N

If yes, you may have to record a Vermont Residential/Commercial Energy Standards (RBES or CBES) Certificate in the Land Records prior to receiving your Building Certificate of Occupancy. Please contact Energy Code Assistance Center at (855) 887-0673 or on line at: <https://publicservice.vermont.gov/efficiency>.

DISCLAIMER AND SIGNATURE

The undersigned hereby requests a permit for land development as described in the Project Description and certifies that the information presented is true and accurate to the best of my knowledge, and understands that if the application is approved, any permits issued, and any attached conditions will be binding on the property.

I understand that permits run with the land, and that the compliance is ultimately the property owner's responsibility. I understand that if more information becomes available to staff, additional review and fees may be required. I also understand that this permit, if issued, will be deemed null and void in the event any material information upon which it is based is found to be incorrect or misrepresented.

Further, the undersigned authorizes the Permit Administrator and/or the Building Inspector access, at reasonable times, to the property covered by the permit issued under this application, for the purposes of ascertaining compliance with said permit.

Stevens Branch Limited Partnership

APPLICANT (print)

Ben Stutz

APPLICANT (signature)

6/2/2026

DATE

City of Barre

PROPERTY OWNER (if different than Applicant-print)

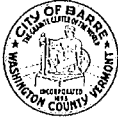
[Signature]

PROPERTY OWNER (signature)

6/1/2026

DATE

This cover sheet is for a local City of Barre, VT permits only. Your project may also require State permits. You retain the obligation to identify, apply for, and obtain relevant State permits. For potential Dept. of Environmental Conservation permits, you are advised to visit the Permit Navigator Portal at <https://dec.vermont.gov/permitnavigator>; You are also advised that State construction permits may be needed, and to check with the Department of Public Safety, at (802) 479-4434 to determine what permits, if any must be obtained by that Agency; <https://firesafety.vermont.gov/buildingcode/permits>.



City of Barre, Vermont

"Granite Center of the World"

Updated January 2026

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ZONING PERMIT APPLICATION

Check all activities involved in this application:

☐	New Home or Garage Construction	☒	Site Work
☒	All other construction/addition/alteration	☐	Pool (if greater than 20' wide or 5' in depth)
☐	Accessory Structure, greater than 120 sq. ft.	☒	Construction Job Trailer
☐	Interior Renovation (adding a bedroom)	☐	Permanent Sign
☐	New apartment	☐	Temporary Sign/Banner
☐	Accessory apartment	☐	Sandwich Board Sign
☐	Deck – porch – steps – ramp – handicapped ramp	☐	Home Occupation/Business
☐	Change of Use	☐	Boundary Line Adjustment/Subdivision
☐	Demo in Historic District (needs DRB approval)	☒	Parking Lot
☒	Fence or Wall	☐	Soil / Sand / Gravel Extraction
☐	Temporary Structure	☐	Dimensional Waiver/Appeal/Variance Request (DRB approval)
☐	Temporary Certificate of Compliance	☐	Certificate of Compliance
☐	Other: _____		

Barre City Assessing
Planning & Planning Office

ESTIMATED COST OF PROJECT: \$ 13,505,000 (required)



ZONING APPLICATION FEES (check all that apply)¹:

1. Cost of Residential Development:

☐	\$20	Residential 1-4 Units (\$1 - \$5,000)
☐	\$40	Residential 1-4 Units (\$5,001 - \$10,000)
☐	\$75	Residential 1-4 Units (\$10,001 - \$25,000)
☐	\$100	Residential 1-4 Units (\$25,001 - \$150,000)
☐	\$150	Residential 1-4 Units (\$150,000 +)

Cost of Commercial Development:

☐	\$50	Comm., Indus., Mixed Use, Res 5+ Units (\$1 - \$10,000)
☐	\$100	Comm., Indus., Mixed Use, Res 5+ Units (\$10,001 - \$25,000)
☐	\$200	Comm., Indus., Mixed Use, Res 5+ Units (\$25,001 - \$150,000)
☐	\$300	Comm., Indus., Mixed Use, Res 5+ Units (\$150,001 - \$350,000)
☐	\$400	Comm., Indus., Mixed Use, Res 5+ Units (\$350,000 +)

2. Specific Usage Costs (fees added to what is checked in #1 above, if they apply):

☐	\$40	Site Work	☐	\$50	Subdivision Final Plat Approval
☐	\$40	Permanent Signs	☐	\$40	Boundary Line Adjustment
☐	\$40	Sandwich Board Sign	☐	\$40	Fences / Walls
☐	\$30	Temporary Sign/Banner	☐	\$30	Certificate of Compliance (project specific)
☐	\$40	Change of Use	☐	\$15	Temporary Certificate of Compliance (project specific; +\$10/mo up to an additional 12 mo.)
☐	\$40	Home Occupation/Home Business	☐	\$20	Temporary Structure
☐	\$20	Subdivision Sketch Plan Approval	☒	\$175	Development Review Board Fee

NOTE: If more than one category applies in Table 2 above, the highest fee is required of all checked.

FEE SUMMARY: ALL PERMIT APPLICATION FEES ARE NON-REFUNDABLE

Fees Due from Table 1:	
Fees Due from Table 2:	175
After-the-fact Fee (if applicable, \$150)	
Required Land Record Recording Fee (*DRB exempt from this recording fee)	\$ 15.00 *
Zoning Permit Application Fee Total:	\$175

* Development Review Board Hearing Fee ONLY \$175 (no fees from Tables 1 & 2 and recording fee required)



June 2, 2026

Robin Davis, Permit Administrator
City of Barre
6 North Main Street
Barre, VT 05641

Reference: **Stevens Branch Apartments, 11 Seminary Street, Application to Amend Development Review Board Approval**

Dear Robin,

The Stevens Branch Apartments is a proposed five-story, 32-unit multi-family residential building and associated parking, lighting, landscaping, and utilities, to be located at the site of the existing Barre City public parking lot I and a portion of lot A. The project was approved by the Barre City Development Review Board (DRB) at the 11/7/2024 hearing (at the time, an application for the City of Barre, 0 Seminary St. and 1 Campbell St.). The applicant is now Stevens Branch Apartments Limited Partnership, and the property is owned by the City of Barre. The enclosed application requests DRB review and approval of several minor changes to the project resulting from the development of the building design since the previous DRB approval.

Proposed changes to the approved design include a reduction in the storage area provided for apartment tenants, changing the trash area screening fence from wood to chain link with privacy slats, and increasing the number of exterior lights mounted on the underside of the building.

Unit Storage

The previous DRB approval included provision of 30 square feet of storage area per unit per the requirements of §3201.C of the Barre Unified Development Ordinance (Ordinance), dated November 4, 2024. The application at the time was based on a schematic level architectural design. As the building design has progressed to a construction level, additional space within the building needed to be used for critical building components such as the elevator, accessible bathrooms, mechanical and electrical equipment, and building structure. This has resulted in a reduction in space available for tenant storage. The following table details the tenant storage areas included in the current building design.

Number of Units	Storage area (sf)	Location
4	30	In-unit
3	33	In-unit
3	30	Room 102
6	27	Room 116
4	25	Room 102
8	22	Room 102
4	21	Room 102

2026.06.05 Zoning Cover Letter.docx

Surveying
Permitting

Site Design

Subdivisions

Timber Design

Expert Testimony

Site Development

Act 250 Permitting

Forensic Engineering

Environmental Permitting

Transportation Engineering

Structural Inspection Services

Commercial Building Design

Construction Oversight

Building Assessment

Pedestrian Bridges

Stream Alterations

Sewer Design

Water Supply

Storm Water

Hydrology

Grading

317 River Street
P.O. Box 1576
Montpelier, VT
05601-1576
phone: 802.223.4727
fax: 802.223.4740
www.dirtsteel.com

The minimum storage unit dimensions are 4'-1" by 5'-2", extending from floor to ceiling. This is sufficient space to provide bike storage within the storage unit.

The project is funded by various state and federal affordable housing funding sources essential to the construction of the building. It is financially infeasible to enlarge the proposed building to meet the storage requirements of the Ordinance given the minimum building system needs to function and operate effectively. We are requesting that the DRB approve the modified storage areas listed above to facilitate this important affordable housing project within the core downtown area of Barre City

Trash Enclosure

We are proposing to change the dumpster screening fence from the wood material included in the previous DRB approval to a chain link fence with privacy slats. Section 3108 of the ordinance requires that trash enclosures "must be constructed of materials that are compatible with the buildings they are intended to serve." Given the urban nature of the project location and the need for the enclosure to stand up to winter snow clearing, we believe the proposed chain link material is appropriate. A revised site plan and enclosure detail are attached to this application.

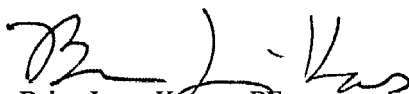
Site Lighting

The previously approved design included eleven exterior light fixtures mounted on the ceiling of the area where the upper floors overhang the first floor, at the drive and rear building entrance. We propose to increase the number of ceiling mounted fixtures to 22 to provide additional lighting for pedestrian safety adjacent to the building. The revised lighting continues to meet the requirements of §3102 of the Ordinance. There is no change to the type or mounting height of proposed site lighting. The total light output is 2.4 lumens per square foot of developed lot area, below the Ordinance maximum of 2.5. See the attached lighting plans for details.

The landscaped area on the site has been slightly increased due to the relocation of exterior doors on the southern portion of the first floor. Otherwise, the site plan remains as previously approved.

If you have any questions or require additional information, please do not hesitate to reach out.

Sincerely,



Brian Lane-Karnas, PE

Enclosures

Cc: Sara Bosworth, Conor Donnelly, DEW Construction
Nicola Anderson, Ben Sturtz, Sandra Silla, Stevens Branch Apartments Limited Partnership
David Roy, Bob Hoppe, Wiemann Lamphere Architects



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JUN 3 2005

Barre City Assessing
Permitting & Planning Office

STEVE
BRAND
HOUSE

BARRE, VERMO: 11

FIRST FL

PROJECT NO. _____
DATE _____
CHECKED BY _____
DRAWN BY _____
SCALE _____



38 Eastwood
Suite 301
South Burlington
802.655.5072

www.wienman.com

STRUCTURAL ENGINEER
HARDY STRUCTURAL
ATTN: TIM HARDY
875 ROOSEVELT BLVD.
COLCHESTER, VT 05726
PHONE: 802-882-8822

M/P ENGINEER
STEWART ENGINEERING
ATTN: JERRY L. M
5430 WATERBURY CENTER
WATERBURY, VT 05671
PHONE: 802-882-8822

ELECTRICAL ENGINEER
DUBOIS & KING
ATTN: RYAN ROSE
75 NORTH MAIN
WATERBURY, VT 05671
PHONE: 802-882-8822

CIVIL ENGINEER
DEWOLF ENGINEERING
ATTN: BRIAN LAM
317 RIVER STREET
MONTPELIER, VT 05602
PHONE: 802-613-1111

DATE
09/27/2025

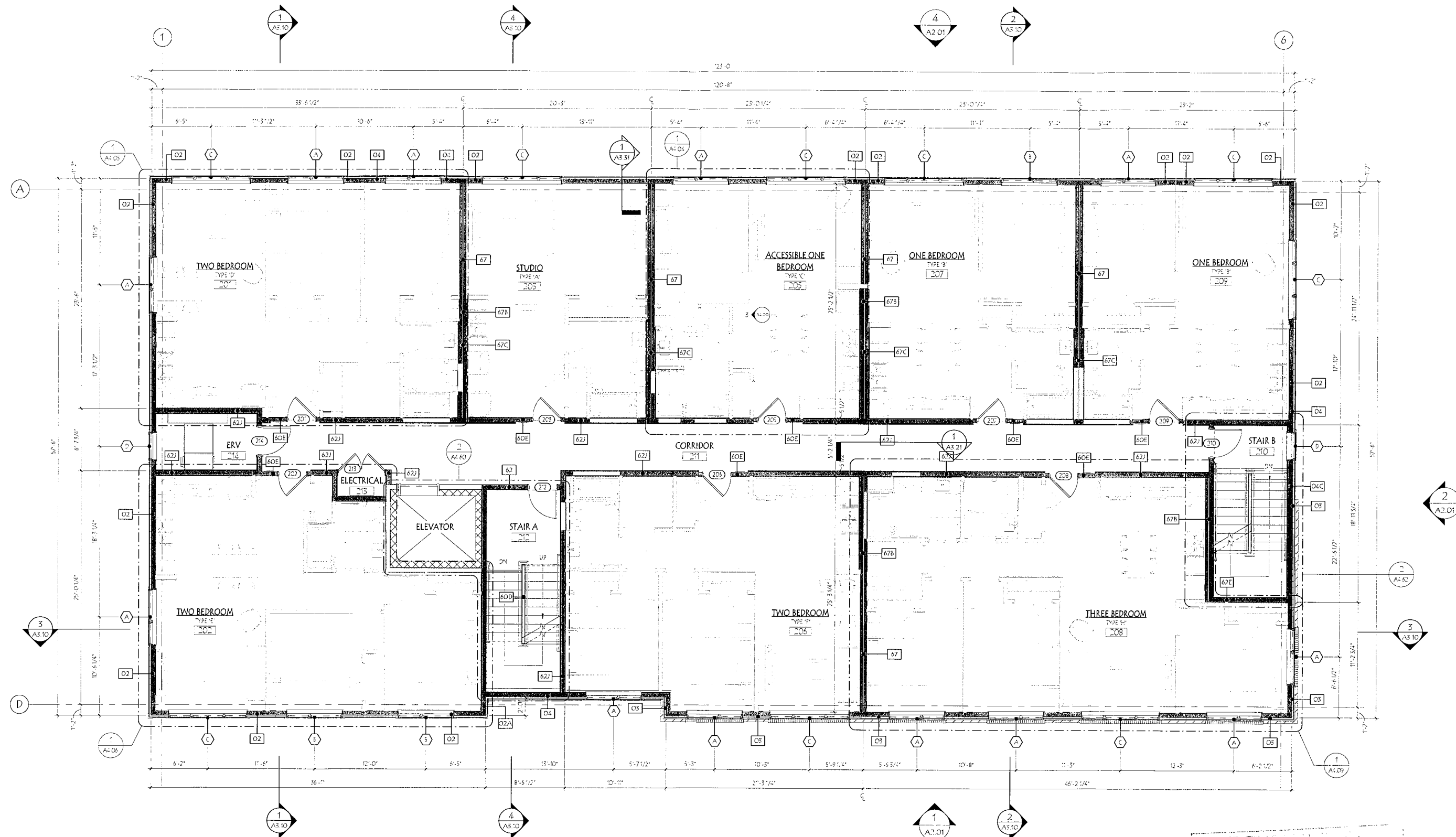
**STEVE BRAN
HOUS**

BARRE, VERMONT

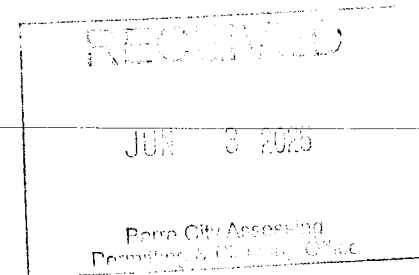
**SECOND
PLAN**

PROJECT NO.
DATE
CHECKED BY
DRAWN BY
SCALE

A1



1 LEVEL 2 FLOOR PLAN
A1.02 3/16" = 1'-0"



LOCAL LIGHTING REQUIREMENTS

- 3102.C GENERAL STANDARDS.
ALL OUTDOOR LIGHTING MUST CONFORM TO THE FOLLOWING:
- (1) LIGHTING PLAN. APPLICANTS FOR MAJOR SITE PLAN APPROVAL (SEE SUBSECTION 4305.C) MUST SUBMIT A LIGHTING PLAN PREPARED BY A PROFESSIONAL LIGHTING ENGINEER OR DESIGNER IF OUTDOOR LIGHTING WILL BE ALTERED OR INSTALLED.
 - (2) SHIELDING. ALL NONEXEMPT OUTDOOR LIGHT FIXTURES MUST BE SHIELDED AS SPECIFIED IN FIGURE 3-5 OR FIGURE 3-6 OR AS APPLICABLE. ALL FIXTURES THAT ARE REQUIRED TO BE FULLY SHIELDED MUST BE INSTALLED AND MAINTAINED IN SUCH A MANNER THAT THE SHIELDING IS EFFECTIVE.
 - (3) TOTAL OUTPUT. TOTAL OUTPUT FROM ALL LIGHT FIXTURES ON A SITE MUST NOT EXCEED THE LIMITS SPECIFIED IN FIGURE 3-5 OR FIGURE 3-6 AS APPLICABLE.
 - (4) UNIFORMITY. OUTDOOR LIGHTING MUST BE DESIGNED TO PROVIDE A UNIFORM DISTRIBUTION OF LIGHT IN AREAS REGULARLY TRAVERSED BY VEHICLES OR PEDESTRIANS. LIGHTING PLANS THAT PRODUCE A RATIO OF 3:1 OR LESS BETWEEN THE HIGHEST LIGHT LEVEL AND LOWEST LIGHT LEVEL WITHIN A TRAFFICKED AREA ON THE SITE ARE STRONGLY ENCOURAGED AND RATIOS IN EXCESS OF 10:1 ARE PROHIBITED.
 - (5) SPOT LIGHT AIMING. LIGHT FIXTURES CONTAINING SPOT OR FLOOD LAMPS MUST BE AIMED NO HIGHER THAN 45° ABOVE STRAIGHT DOWN. WHEN AIMED STRAIGHT DOWN, SUCH LIGHT FIXTURES WILL BE CONSIDERED FULLY SHIELDED; WHEN AIMED ABOVE STRAIGHT DOWN, THEY WILL BE CONSIDERED PARTIALLY SHIELDED. USE OF FLOOD OR SIMILAR HIGH-INTENSITY LIGHTING IS DISCOURAGED.
 - (6) FREESTANDING LIGHTS. FREESTANDING LIGHT FIXTURES MUST NOT EXCEED 30 FEET IN HEIGHT IN THE INDUSTRIAL AND GENERAL BUSINESS DISTRICTS AND 24 FEET IN HEIGHT IN ALL OTHER DISTRICTS. FREESTANDING LIGHT FIXTURES MAY BE LOCATED WITHIN SETBACKS. USE OF DECORATIVE FIXTURES NOT MORE THAN 12 FEET IN HEIGHT IS ENCOURAGED TO LIGHT WALKWAYS AND OTHER PEDESTRIAN-ORIENTED SPACES.
 - (7) LIGHT TRESPASS. OUTDOOR LIGHT FIXTURES MUST BE ORIENTED AND SHIELDED AS NECESSARY TO PREVENT LIGHT TRESPASS OVER ADJACENT PROPERTY OR RIGHTS-OF-WAY.
 - (8) INTERNALLY ILLUMINATED ARCHITECTURE. THE INITIAL LAMP OUTPUT OF ANY ARCHITECTURAL ELEMENT (EX. WALL, FASCIA OR CANOPY EDGE) THAT IS INTERNALLY ILLUMINATED WILL BE CONSIDERED PARTIALLY SHIELDED, CLASS 3 LIGHTING.
 - (9) LUMINOUS TUBE LIGHTING. LUMINOUS TUBE LIGHTING DOES NOT REQUIRE SHIELDING BUT IT WILL BE CONSIDERED PARTIALLY SHIELDED LIGHTING FOR THE PURPOSES OF CALCULATING TOTAL OUTDOOR LIGHT OUTPUT FOR THE SITE.
 - (10) TIME LIMITS. OUTDOOR LIGHTING MUST BE EXTINGUISHED AS SPECIFIED IN FIGURE 3-5 OR FIGURE 3-6 AS APPLICABLE UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT REVIEW BOARD UPON FINDING THE LIGHTING NECESSARY TO PROTECT PUBLIC SAFETY OR SECURE THE PROPERTY. THE DEVELOPMENT REVIEW BOARD MAY FURTHER LIMIT WHEN OUTDOOR LIGHTING MAY BE USED AS DEEMED NECESSARY TO ACHIEVE THE PURPOSES OF THIS SECTION AND PROTECT THE CHARACTER OF THE NEIGHBORHOOD.

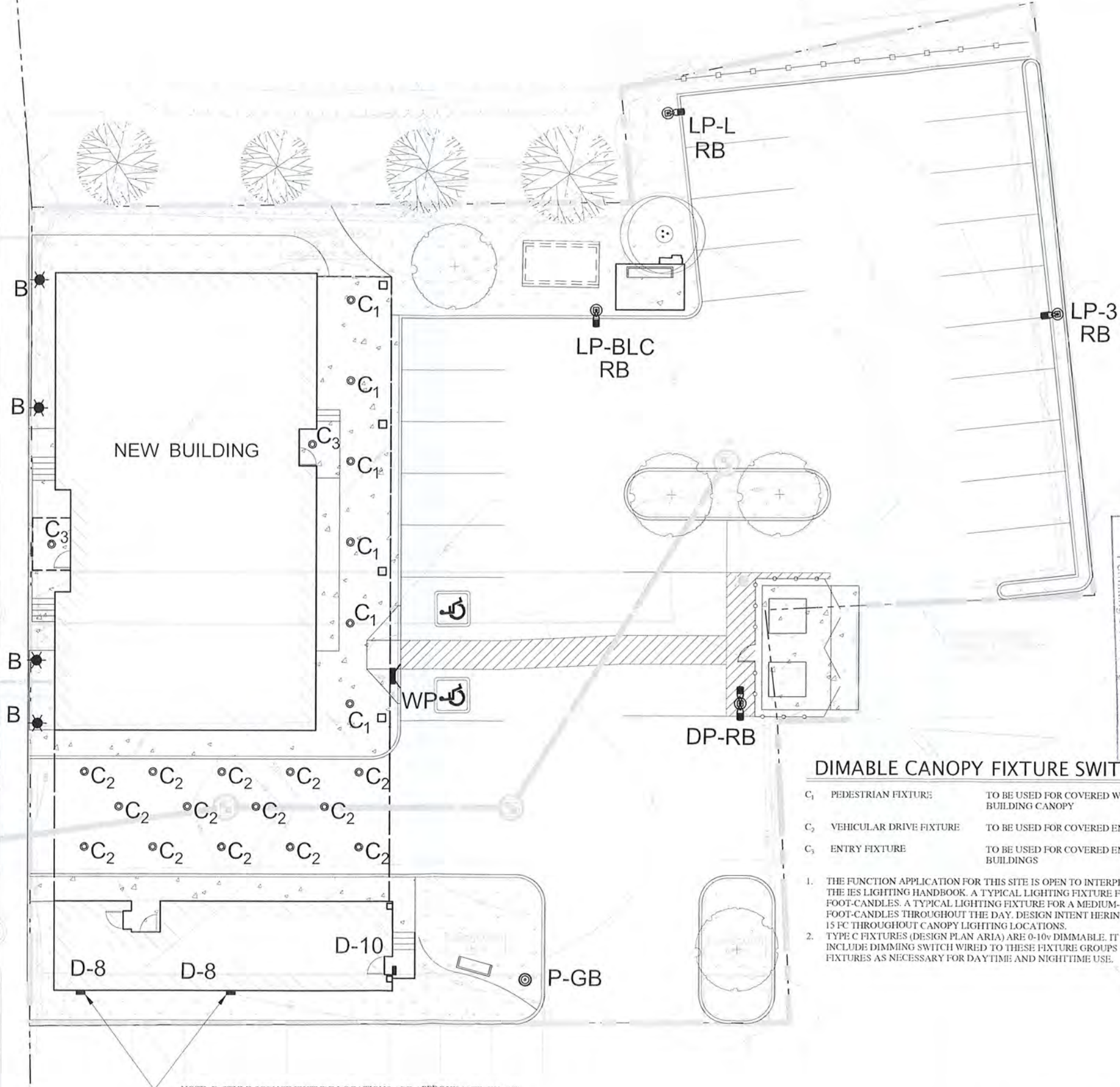
NOTES:

- 1. LIGHTING DESIGN BY VISIBLE LIGHT, INC.
- 2. FIXTURE SYMBOLS ARE NOT TO SCALE
- 3. ALL FIXTURES ON THIS PLAN MEET IESNA QUALIFICATIONS.
- 4. REFER TO CIVIL PLANS FOR UTILITY LOCATIONS.
- 5. LIGHT POLE FIXTURE MOUNTING HEIGHT CALCULATED FROM FINISH GRADE. (SEE POLE BASE INSTALLATION DETAIL.)
- 7. ELECTRICAL ENGINEERING DESIGN, PANEL LOCATION, OPERATING SWITCH PLATES AND CONDUIT BY OTHERS.
- 8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT ON-SITE TO VERIFY LOCATION OF ALL LIGHT FIXTURES AND LIGHT POLES PRIOR TO PLACEMENT AND INSTALLATION.
- 9. PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT OF ALL LIGHTING MATERIALS AND INSTALLATION METHODS FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.

SITE LIGHTING KEY

SYM	LABEL	DESCRIPTION
	B	PROPOSED LED BOLLARD
	LP	PROPOSED (SINGLE) FIXTURE & LIGHT POST
	DP	PROPOSED (DOUBLE) LIGHT FIXTURE & POST
	P	PROPOSED PEDESTRIAN LIGHT FIXTURE
	C	PROPOSED CANOPY / CEILING LIGHT FIXTURE
	WP	PROPOSED WALL PACK / BUILDING MOUNTED
	D	PROPOSED DOOR / SCONCE FIXTURE
RB		3FT HIGH RAISED BASE (SEE DETAIL)
GB		AT GRADE BASE (SEE DETAIL)

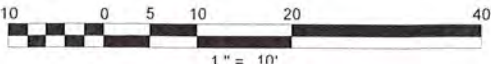
ISSUED FOR
CONSTRUCTION



NOTE: D-STYLE SCONCE FIXTURE LOCATIONS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED ON-SITE BY OWNER AND ARCHITECT.

DIMABLE CANOPY FIXTURE SWITCH SCHEDULE:

- | | | |
|----------------|-------------------------|---|
| C ₁ | PEDESTRIAN FIXTURE | TO BE USED FOR COVERED WALKWAYS BENEATH BUILDING CANOPY |
| C ₂ | VEHICULAR DRIVE FIXTURE | TO BE USED FOR COVERED ENTRANCE DRIVE |
| C ₃ | ENTRY FIXTURE | TO BE USED FOR COVERED ENTRY WAYS INTO THE BUILDINGS |
- 1. THE FUNCTION APPLICATION FOR THIS SITE IS OPEN TO INTERPRETATION IN ACCORDANCE TO THE IES LIGHTING HANDBOOK. A TYPICAL LIGHTING FIXTURE FOR A PARKING GARAGE IS 5 FOOT-CANDLES. A TYPICAL LIGHTING FIXTURE FOR A MEDIUM-ACTIVITY PORT COCHERE IS 15 FOOT-CANDLES THROUGHOUT THE DAY. DESIGN INTENT HERIN PROVIDES BETWEEN 5 FC AND 15 FC THROUGHOUT CANOPY LIGHTING LOCATIONS.
 - 2. TYPE C FIXTURES (DESIGN PLAN ARIA) ARE 0-10V DIMMABLE. IT IS RECOMMENDED TO INCLUDE DIMMING SWITCH WIRED TO THESE FIXTURE GROUPS SEPARATELY. DIM LIGHT FIXTURES AS NECESSARY FOR DAYTIME AND NIGHTTIME USE.



GRID

Civil & Structural En.
DeWitt
ENGINEERING ASSOCIATES

Bown
478 Main Street
Watson, Vermont 05495
Phone: (802) 974-6331
www.bowninc.com

no. date

RECEIVED
JUN 3 2025
Estate City Assessing
Permitting & Planning Office

project name:
**SEMINARY STREET
HOUSING**

project location:
SEMINARY STREET

project number:
drawn by:
checked by:
scale:
date:
released for: ISSUED FOR
sheet description:

SITE LIGH
PLAN

L3.C

FEMA Mapped 100 Year floodplain
Map Panel 50023C0434E
BFE = 598.4' (NAVD 88)

n/t
The First Presbyterian
Church of Barre, Vermont

n/t
Eleanor M. Bouffard

n/t
Bruce C. Ellison

n/t
Downtown Barre
Development

n/t
Malone 315 North Main
Street Properties, LLC

SEMINARY STREET

n/t
City of Barre

n/t
Northfield Savings
Bank



GRID

DeWitt
ENGINEERS
A Division of
1 822-223-4721 / 1 802-223-4700
317 River St., P.O. Box 1576, Mont.



no.	date	
1	12/19/2025	50% I DEVE
2	01/09/2026	DESIG DEVE
3	04/10/2026	50% C
4	05/06/2026	95% C
5	05/21/2026	ISSUI CONS

RECEIVED

JUN 3 2026

Barre City Assessing
Permitting & Planning Office

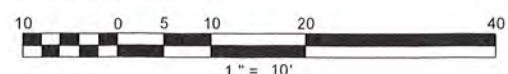
project name:
**STEVEN'S BRANCH
HOUSING**
project location:

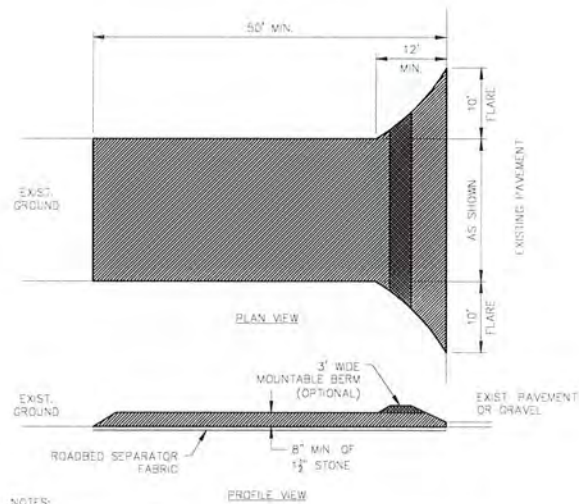
project number:
drawn by:
checked by:
scale:
date:
released for:
sheet description:

**SITE
PLAN**

C1.0

WORK SHOWN OUTSIDE OF CONTRACT LIMIT IS TO BE
COMPLETED BY THE CITY OF BARRE AND IS NOT INCLUDED IN
THE SCOPE OF THIS PROJECT.

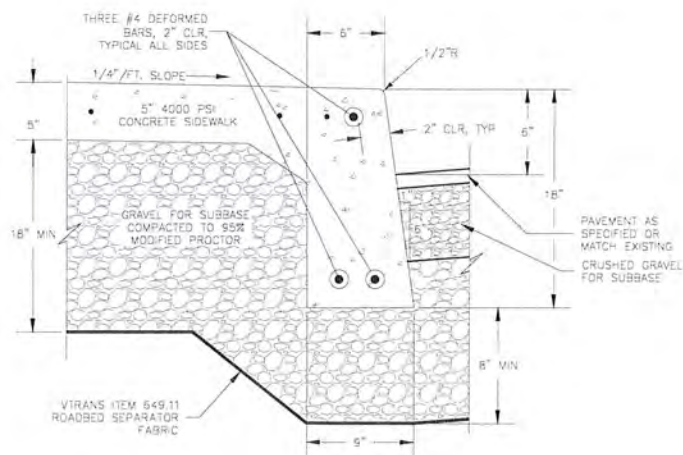
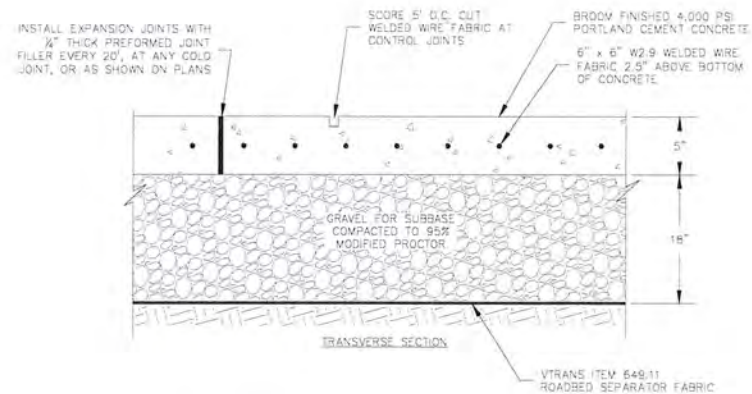




- NOTES:**
1. THE PURPOSE IS TO REMOVE MUD FROM TIRES OF CONSTRUCTION VEHICLES
 2. WHEN STONE BECOMES CLOGGED AND INEFFECTIVE, TOPDRESS WITH 3" OF NEW STONE OR REPLACE ENTIRE PAD
 3. IF TIRE WASHING IS REQUIRED, WASH WATER SHALL DRAIN INTO AN APPROVED SEDIMENT TRAPPING DEVICE
 4. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY USING CLOSED-BROOM EQUIPMENT
 7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

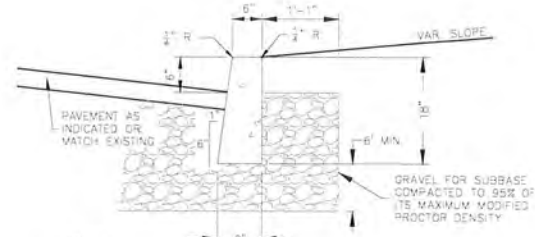


CONCRETE SIDEWALK WITH INTEGRAL CURB

- NOTES:**
1. SAW CUT CONSTRUCTION JOINTS TO CONTINUE THROUGH CURB AND DOWN FACE OF CURB
 2. SEE VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION DETAILS ON EXPANSION, CONSTRUCTION JOINTS, AND LENGTHS OF SECTIONS
 3. REVIEW JOINT LAYOUT WITH ENGINEER PRIOR TO CONSTRUCTION
 4. WHERE HANDRAIL SHOWN ON SITEPLAN, SIDEWALK WIDTH TO MEASURE 6'-0" FROM FACE OF CURB TO BACK OF SIDEWALK. WHERE NO HANDRAIL SHOWN, SIDEWALK WIDTH TO MEASURE 5'-0" FROM FACE OF CURB TO BACK OF SIDEWALK. SEE SITEPLAN FOR LOCATIONS.

CONCRETE SIDEWALK WITH INTEGRAL CURB

NOT TO SCALE

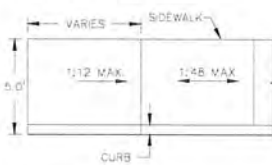
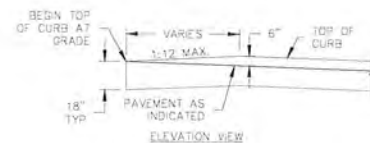


- NOTES:**
1. WHEN CONCRETE CURB IS CONSTRUCTED ADJACENT TO CONCRETE SIDEWALK, ASPHALT TREATED FELT SHALL BE PLACED BETWEEN THE SIDEWALK AND CURB
 2. REVEAL NOT TO EXCEED 4" WHERE DESIGN SPEED IS > 40 MPH OR WHERE CURB IS INSTALLED ADJACENT TO GUARDRAIL
 3. SEE VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION DETAILS ON EXPANSION, CONSTRUCTION JOINTS, AND LENGTHS OF SECTIONS

CAST IN PLACE CONCRETE CURB

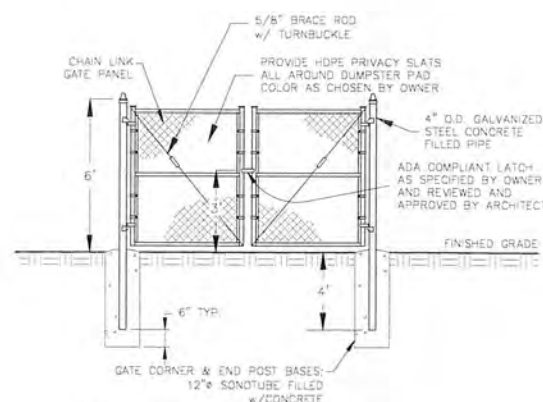
VAOT TYPE B

NOT TO SCALE



TRANSITION TO FLUSH CURB

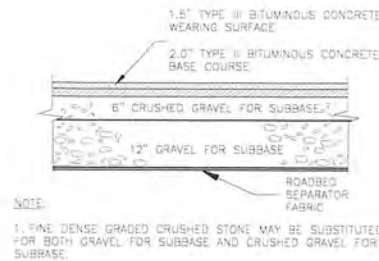
NOT TO SCALE



- NOTES:**
1. MAXIMUM POST SPACING FOR FENCING SHALL BE 6'
 2. INTERMEDIATE POSTS SHALL BE CENTERED IN SPACING

TYPICAL DUMPSTER FENCE

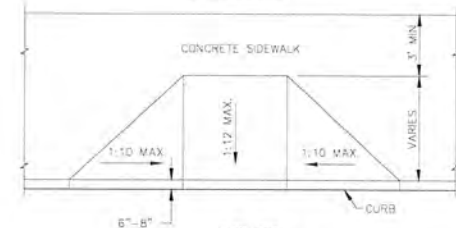
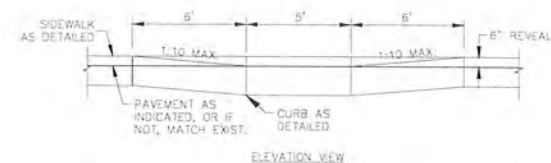
NOT TO SCALE



- NOTE:**
1. THE DENSE GRADED CRUSHED STONE MAY BE SUBSTITUTED FOR BOTH GRAVEL FOR SUBBASE AND CRUSHED GRAVEL FOR SUBBASE

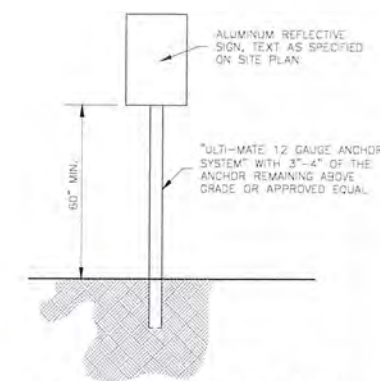
TYPICAL COMMERCIAL PAVED PARKING LOT SECTION

NOT TO SCALE



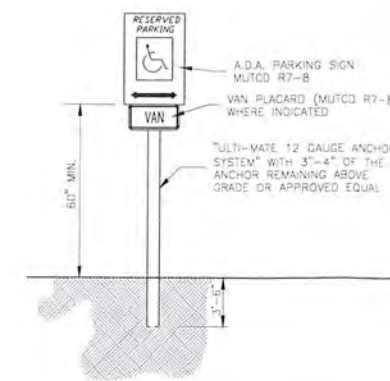
TYPICAL CURB RAMP

NOT TO SCALE



TYPICAL SIGN INSTALLATION

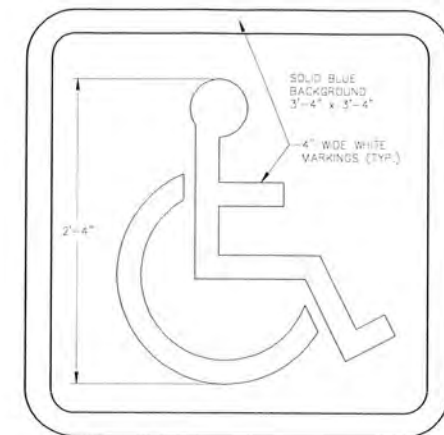
NOT TO SCALE



- NOTE:**
- ONE VAN PARKING SPACE PER 6 ACCESSIBLE SPACES, OR FRACTION THEREOF (DENOTED WITH MUTCD R7-8a SIGN)

A.D.A. PARKING SIGN

NOT TO SCALE



HANDICAP SYMBOL PAVEMENT MARKING

- NOTE:**
1. SYMBOL TO CONFORM WITH FIGURE 3B.22 OF THE MUTCD (DEC. 2009), EXCEPT AS OTHERWISE INDICATED.

HANDICAP SYMBOL PAVEMENT MARKING

NOT TO SCALE



PAVEMENT MARKINGS FOR ADA COMPLIANT PARKING AREAS

NOT TO SCALE

- NOTES:**
1. PAINT USED SHALL MEET THE REQUIREMENTS OF VTRANS ITEM 708.10(c) OF THE 2018 STANDARD SPECIFICATIONS OF CONSTRUCTION MATERIALS.
 2. 6' WIDE SPACE FOR STANDARD ACCESSIBLE SPACE
 3. 11' WIDE SPACE FOR VAN ACCESSIBLE OR E.V. CHARGING SPACE



- NOTE:**
1. PAINT USED SHALL MEET THE REQUIREMENTS OF VTRANS ITEM 708.10(c) OF THE 2018 STANDARD SPECIFICATIONS OF CONSTRUCTION MATERIALS.

PAVEMENT MARKINGS FOR STANDARD PARKING AREAS

NOT TO SCALE

DeWitt ENGINEER

A Division of
1.800.223.4727 1.800.223.4740
317 River St., P.O. Box 1578, Mont
VERMONT



no. date

1 12/19/2025 50% I
DEVE

2 01/09/2026 DESK
DEVE

3 04/10/2026 50% I
DEVE

4 05/06/2026 95% I
DEVE

5 05/21/2026 ISSU
CON

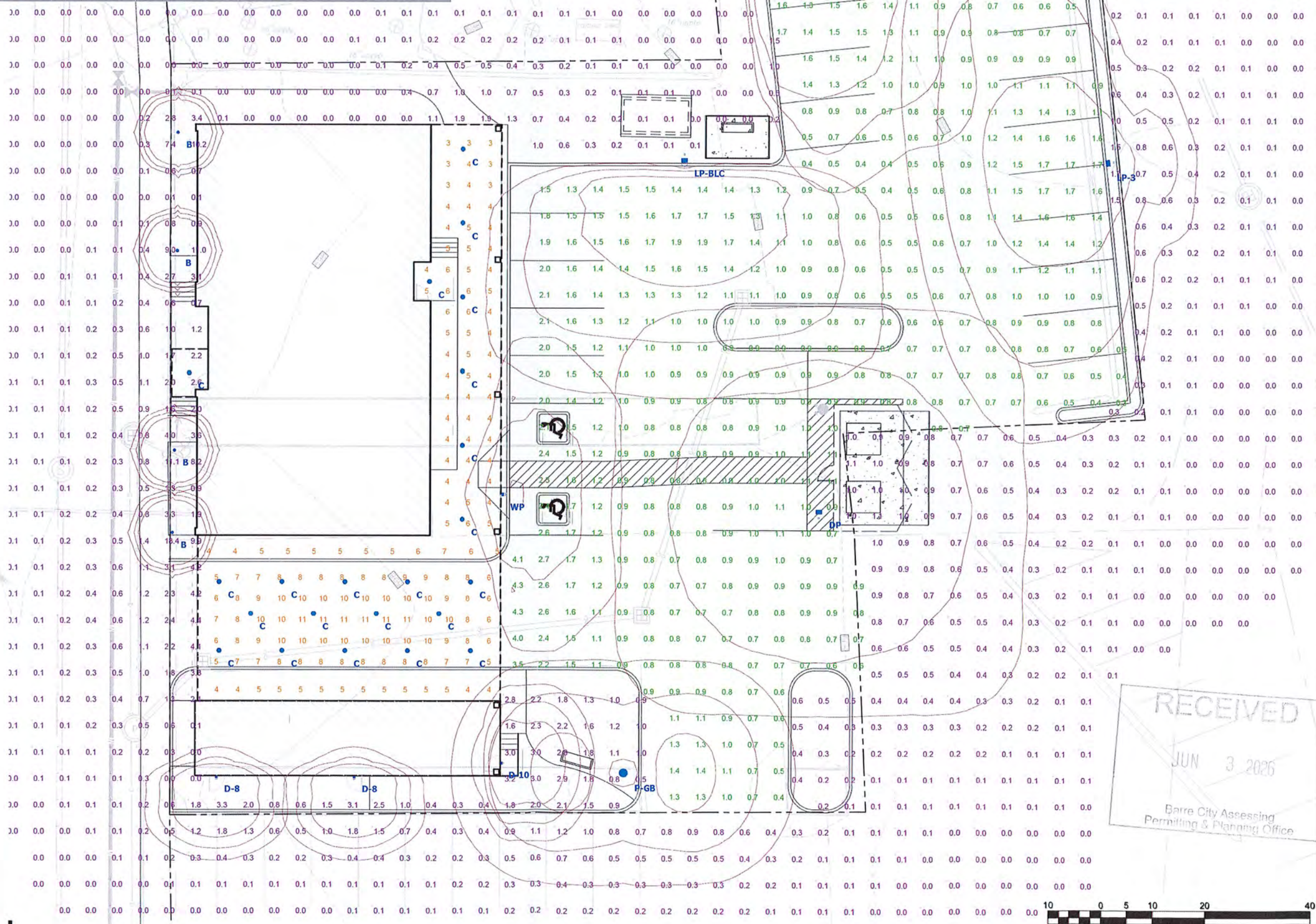
project name:
**STEVEN'S BRANCH
HOUSING**
project location:

project number:
drawn by:
checked by:
scale:
date:
released for:
sheet description:

**CONSTRU
DETAIL**

C5.0

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveway Under Canopy	+	9 fc	11 fc	5 fc	2.2:1	1.8:1
Outside of Parking Lot	+	0.3 fc	18.4 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.1 fc	4.3 fc	0.3 fc	14.3:1	3.7:1
Under Canopy	+	4 fc	6 fc	3 fc	2.0:1	1.3:1



ISSUED FOR
CONSTRUCTION



GRID

Civil & Structural En.
DeWitt
ENGINEERING ASSO.

Bown
478 Blair Park Rd.
Watkins, Vermont 05476
Phone: (802) 519-4331
www.bowninc.com

no. date

1

Paul S.

VERMONT
PAUL SIMON
No. 69960
LANDSCAPE

project name: SEMINARY STREET HOUSING
project location: SEMINARY STREET

project number:
drawn by:
checked by:
scale:
date:
released for: ISSUED FOR
sheet description: SITE PHOTO PLAN

L3.C

RECEIVED
JUN 3 2026
Barre City Assessing
Permitting & Planning Office

10 0 5 10 20 40
1" = 10'

(B) BOLLARD LIGHTING SPECIFICATION



RADEAN Bollard
LED Site Luminaire

Specifications

Diameter: D = 8.25" (209.6mm)
Height: H = 41.5" Standard (10541mm)
Weight (max): 20lbs (9.07kg)

Ordering Information

EXAMPLE: RADB LED P4 30K SYM MVOLT BTS BCCDNATXD DBLXD

Introduction

The Radean LED Bollard is an award-winning, energy-saving, long-life solution designed to perform the way a bollard should.

The Radean LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Ordering Information

Series	Performance Package	Color Temperature	Architecture	Voltage	Control options	Bollard Top options
RADB LED	P1	27K	2700K	ASX	Asymmetric	120"
	P2	30K	3000K	SYM	Symmetric	208"
	P3	35K	3500K			240"
	P4	40K	4000K			277"
	P5	50K	5000K			480"

Ordering Information

Series	LEDs	Color Temperature	Color Rendering Index	Architecture	Voltage	Mounting
DSX LED	Forward optics	(this section 70CRI only)	70CRI	Automatic first row	120V	120V
	P1	30K	3000K	T15	Type I	120V
	P2	40K	4000K	T24	Type II	120V
	P3	50K	5000K	T34	Type III	120V
	P4	60K	6000K	T44	Type IV	120V
	P5	70K	7000K	T54	Type V	120V
	P6	80K	8000K	T64	Type VI	120V
	P7	90K	9000K	T74	Type VII	120V
	P8	100K	10000K	T84	Type VIII	120V
	P9	110K	11000K	T94	Type IX	120V
	P10	120K	12000K	T104	Type X	120V
	P11	130K	13000K	T114	Type XI	120V
	P12	140K	14000K	T124	Type XII	120V
	P13	150K	15000K	T134	Type XIII	120V
	P14	160K	16000K	T144	Type XIV	120V
	P15	170K	17000K	T154	Type XV	120V
	P16	180K	18000K	T164	Type XVI	120V
	P17	190K	19000K	T174	Type XVII	120V
	P18	200K	20000K	T184	Type XVIII	120V
	P19	210K	21000K	T194	Type XIX	120V
	P20	220K	22000K	T204	Type XX	120V
	P21	230K	23000K	T214	Type XXI	120V
	P22	240K	24000K	T224	Type XXII	120V
	P23	250K	25000K	T234	Type XXIII	120V
	P24	260K	26000K	T244	Type XXIV	120V
	P25	270K	27000K	T254	Type XXV	120V
	P26	280K	28000K	T264	Type XXVI	120V
	P27	290K	29000K	T274	Type XXVII	120V
	P28	300K	30000K	T284	Type XXVIII	120V
	P29	310K	31000K	T294	Type XXIX	120V
	P30	320K	32000K	T304	Type XXX	120V
	P31	330K	33000K	T314	Type XXXI	120V
	P32	340K	34000K	T324	Type XXXII	120V
	P33	350K	35000K	T334	Type XXXIII	120V
	P34	360K	36000K	T344	Type XXXIV	120V
	P35	370K	37000K	T354	Type XXXV	120V
	P36	380K	38000K	T364	Type XXXVI	120V
	P37	390K	39000K	T374	Type XXXVII	120V
	P38	400K	40000K	T384	Type XXXVIII	120V
	P39	410K	41000K	T394	Type XXXIX	120V
	P40	420K	42000K	T404	Type XXXX	120V
	P41	430K	43000K	T414	Type XXXXI	120V
	P42	440K	44000K	T424	Type XXXXII	120V
	P43	450K	45000K	T434	Type XXXXIII	120V
	P44	460K	46000K	T444	Type XXXXIV	120V
	P45	470K	47000K	T454	Type XXXXV	120V
	P46	480K	48000K	T464	Type XXXXVI	120V
	P47	490K	49000K	T474	Type XXXXVII	120V
	P48	500K	50000K	T484	Type XXXXVIII	120V
	P49	510K	51000K	T494	Type XXXXIX	120V
	P50	520K	52000K	T504	Type XXXXX	120V

Ordering Information

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	P6	80K	8000K	T64	Type VI	120V
	P7	90K	9000K	T74	Type VII	120V
	P8	100K	10000K	T84	Type VIII	120V
	P9	110K	11000K	T94	Type IX	120V
	P10	120K	12000K	T104	Type X	120V
	P11	130K	13000K	T114	Type XI	120V
	P12	140K	14000K	T124	Type XII	120V
	P13	150K	15000K	T134	Type XIII	120V
	P14	160K	16000K	T144	Type XIV	120V
	P15	170K	17000K	T154	Type XV	120V
	P16	180K	18000K	T164	Type XVI	120V
	P17	190K	19000K	T174	Type XVII	120V
	P18	200K	20000K	T184	Type XVIII	120V
	P19	210K	21000K	T194	Type XIX	120V
	P20	220K	22000K	T204	Type XX	120V
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	P30	320K	32000K	T304	Type XXX	120V
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	P33	350K	35000K	T334	Type XXXIII	120V
	P34	360K	36000K	T344	Type XXXIV	120V
	P35	370K	37000K	T354	Type XXXV	120V
	P36	380K	38000K	T364	Type XXXVI	120V
	P37	390K	39000K	T374	Type XXXVII	120V
	P38	400K	40000K	T384	Type XXXVIII	120V
	P39	410K	41000K	T394	Type XXXIX	120V
	P40	420K	42000K	T404	Type XXXX	120V
	P41	430K	43000K	T414	Type XXXXI	120V
	P42	440K	44000K	T424	Type XXXXII	120V
	P43	450K	45000K	T434	Type XXXXIII	120V
	P44	460K	46000K	T444	Type XXXXIV	120V
	P45	470K	47000K	T454	Type XXXXV	120V
	P46	480K	48000K	T464	Type XXXXVI	120V
	P47	490K	49000K	T474	Type XXXXVII	120V
	P48	500K	50000K	T484	Type XXXXVIII	120V
	P49	510K	51000K	T494	Type XXXXIX	120V
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	P9	110K	11000K	T94	Type IX	120V
	P10	120K	12000K	T104	Type X	120V
	P11	130K	13000K	T114	Type XI	120V
	P12	140K	14000K	T124	Type XII	120V
	P13	150K	15000K	T134	Type XIII	120V
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	P27	290K	29000K	T274	Type XXVII	120V
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	P34	360K	36000K	T344	Type XXXIV	120V
	P35	370K	37000K	T354	Type XXXV	120V
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	P32	340K	34000K	T324	Type XXXII	120V
	P33	350K	35000K	T334	Type XXXIII	120V
	P34	360K	36000K	T344	Type XXXIV	120V
	P35	370K	37000K	T354	Type XXXV	120V
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	P40	420K	42000K	T404	Type XXXX	120V
	P41	430K	43000K	T414	Type XXXXI	120V
	P42	440K	44000K	T424	Type XXXXII	120V
	P43	450K	45000K	T4		



State of Vermont
Department of Environmental Conservation
Drinking Water and Groundwater Protection Division
Montpelier Regional Office
<http://dec.vermont.gov/water/ww-systems>

Agency of Natural Resources

March 30, 2026

City of Barre
6 North Main Street
Barre, VT 05641

Subject: Wastewater System and Potable Water Supply Permit # WW-5-10070 for a project located in Barre City, Vermont

Dear Permittee:

Here is a copy of your WW-5-10070 permit marked "Documents For Recording."

You must record this permit in the Barre City land records within 30 days of the issue date. The town office charges a fee for recording.

To get copies of your approved plans, you can either contact your licensed designer or visit <https://dec.vermont.gov/water/ww-systems> and use the document search. You may print or save any documents or plans you find.

Please read your permit carefully to see what might be required. Your permit may need an installation certification, inspections, or other reports.

Thank you for your cooperation. Please contact me if you have any questions.

For the Drinking Water and Groundwater Protection Division,

Sue Cross
Environmental Technician III
+1 8027510130
Sue.Cross@vermont.gov

Enclosures

Notice of Language and Communication Access Services: If you speak a language other than English or need a reasonable accommodation for effective communication to access materials or services, please call (802) 636-7827 or email anr.civilrights@vermont.gov to access our [free language services](#).

FREE LANGUAGE SERVICES | SERVICES LINGUISTIQUES GRATUITS

भाषासम्बन्धी निःशुल्क सेवाहरू | SERVICIOS GRATUITOS DE IDIOMAS | 免費語言服務

BESPLATNE JEZIČKE USLUGE | БЕСПЛАТНЫЕ УСЛУГИ ПЕРЕВОДА

DỊCH VỤ NGÔN NGỮ MIỄN PHÍ | 無料通訳サービス | ነጻ የቋንቋ አገልግሎቶች

HUDUMA ZA MSAADA WA LUGHA BILA MALIPO | BESPLATNE JEZIČKE USLUGE |

အခမဲ့ ဘာသာစကား ဝန်ဆောင်မှုများ | ADEEGYO LUUQADA AH OO BILAASH AH | خدمات لغة

مجانية

Please note: These language services are for material from or interactions with the Agency of Natural Resources.

Notice of Nondiscrimination: The Vermont Agency of Natural Resources and its departments (the Department of Environmental Conservation, the Fish and Wildlife Department, and the Department of Forests, Parks, and Recreation) operate their programs, services, and activities without discriminating on the basis of race, religion, creed, color, national origin, ancestry, place of birth, disability, age, marital status, sex, sexual orientation, gender identity, or breastfeeding. We will not tolerate discrimination, intimidation, threats, coercion, or retaliation against any individual or group because they have exercised their rights protected by federal or state law.



DOCUMENTS FOR RECORDING

State of Vermont
Department of Environmental Conservation

Agency of Natural Resources
Drinking Water and Groundwater Protection Division

WASTEWATER SYSTEM AND POTABLE WATER SUPPLY PERMIT

LAWS/REGULATIONS INVOLVED

10 V.S.A. Chapter 64, Potable Water Supply and Wastewater System Permit
Wastewater System and Potable Water Supply Rules, Effective November 6, 2023

Permittee(s): City of Barre
6 North Main Street
Barre, VT 05641

Permit WW-5-10070
Number:

This permit affects the following property/properties in Barre City, Vermont:

Lot	Parcel	SPAN	Acres	Book(s)/Page(s)#
1	1295-VL00-0001	036-011-10736	0.4	Book:82 Page:277
2	0305-0001-0000	036-011-12583	0.16	Book:279 Page:437

This application, consisting of the construction of a new 32-unit multi-family housing building to replace the existing parking lot areas, located at 11 Seminary Street in Barre City, Vermont, is hereby approved under the requirements of the regulations named above subject to the following conditions. Any person aggrieved by this permit may appeal to the Environmental Court within 30 days of the date of issuance of this permit in accordance with 10 V.S.A. Chapter 220 and the Vermont Rules of Environmental Court Proceedings.

1. GENERAL

- 1.1. The permittee is responsible for recording this permit in the Barre City Land Records within 30 days of issuance of this permit and prior to the conveyance of any lot subject to the jurisdiction of this permit.
- 1.2. The permittee is responsible for recording the design and installation certifications and other documents that are required to be filed under these Rules or under a permit condition in the Barre City Land Records.
- 1.3. Each assign or successor in interest shall be shown a copy of the Wastewater System and Potable Water Supply Permit and the stamped plans prior to the conveyance of a lot.
- 1.4. The landowner is responsible for establishing any easement(s) shown on the approved plans. The land deeds that establish and transfer ownership of the approved lot(s) shall allow future owner(s) the right to construct, maintain, and repair the wastewater and/or potable water supply systems approved herein. If the landowner does not properly execute said easement(s), this permit becomes null and void for any subject lot conveyed without easement(s).
- 1.5. By acceptance of this permit, the permittee agrees to allow representatives of the State of Vermont access to the property covered by the permit, at reasonable times, for the purpose of ascertaining compliance with the Vermont environmental and health statutes and regulations, and permit conditions.
- 1.6. The Drinking Water and Groundwater Protection Division relied upon the Vermont Licensed Designer's certification that the design-related information submitted is true and correct and complies with the Wastewater System and Potable Water Supply Rules.



This permit may be revoked if it is determined the design of the wastewater system or potable water supply does not comply with these rules.

- 1.7. This permit does not relieve the landowner from obtaining all other approvals and permits from other State Agencies or Departments or local officials prior to construction.

2. CONSTRUCTION

- 2.1. Construction shall be completed as shown on the plans and/or documents prepared by Brian Lane-Karnas, with the stamped plans listed as follows:

Title	Sheet #	Plan Date	Revision
Legend and General Notes	C0.01	02/23/2026	
Utility Plan	C1.04	02/23/2026	
Construction Details	C5.02	02/23/2026	

- 2.2. Construction of wastewater systems or potable water supplies, or buildings or structures (as defined by the Wastewater System and Potable Water Supply Rules), or campgrounds, not depicted on the stamped plans, or identified in this permit, is not allowed without prior approval by the Drinking Water and Groundwater Protection Division.

3. INSPECTIONS

- 3.1. No permit issued by the Secretary shall be valid for a substantially completed multi-unit residential building, potable water supply and wastewater system until the Secretary receives a signed and dated certification from a qualified Vermont Licensed Designer (or where allowed, the installer) on a Secretary-approved form that states:

"I hereby certify that, in the exercise of my reasonable professional judgment, the installation-related information submitted is true and correct and the potable water supply and wastewater system were installed in accordance with the permitted design and all permit conditions, were inspected, were properly tested, and have successfully met those performance tests."

or which satisfies the requirements of §1-311 of the referenced rules.

4. DESIGN FLOW

- 4.1. The following table provides the flows that the wastewater system and potable water supply are designed to accept based on existing and proposed lot and building uses. The design flows in gallons per day (gpd) in the following table are derived from section 1-803 of the Rules:

Lot	Building	Building Use / Design Flow Basis	Wastewater (gpd)	Water (gpd)
1 & 2*	Proposed	Residential Living Unit with 32 apartment units: (16) 1-bedroom units based on 2-person occupancy in each (12) 2-bedroom units based on 4-person occupancy in each (4) 3-bedroom units based on 6-person occupancy in each	7,280	7,280

*Existing lots currently serving as parking lots to be merged

DOCUMENTS FOR RECORDING

Wastewater System and Potable Water Supply Permit

WW-5-10070

Page 3 of 3

4.2. The table above reflects the designed capacity for wastewater systems and potable water supplies derived from the uses documented in the permit application. If additional capacities are needed, a permit amendment will be required for the total design flows.

5. WASTEWATER SYSTEM

5.1. The project is approved for connection to the City of Barre wastewater treatment facility as depicted on the plans stamped by the Drinking Water and Groundwater Protection Division.

5.2. This permit is based, in part, on a determination by the municipality that sufficient capacity exists in the wastewater treatment facility and associated sanitary sewer collection line to accommodate the design flow of this project. This permit does not imply the municipality will grant allocation to the building.

6. POTABLE WATER SUPPLY

6.1. The project is approved for connection to the water supply system owned by the City of Barre as depicted on the plans stamped by the Drinking Water and Groundwater Protection Division.

6.2. This permit is based, in part, on a determination by the municipality that sufficient capacity exists in the municipal public water system to accommodate the design flow approved by this permit. This permit does not imply that the municipality will grant allocation for the building.

6.3. The landowner shall install and maintain backflow prevention devices that conform to Vermont Department of Public Safety standards and NFPA 13 for any connection of a sprinkler fire suppression system to a public drinking water system.

Julia S. Moore, Secretary
Agency of Natural Resources

By

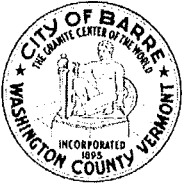


Angela McGuire, Environmental Analyst VI
Montpelier Regional Office
Drinking Water and Groundwater Protection Division

Dated March 30, 2026

cc: Brian Lane-Karnas

CITY CLERK'S OFFICE
Received Apr 10, 2026 11:30A
Recorded in VOL: 465 PG: 49- 51
Of Barre City Land Records
ATTEST: Cheryl Metivier, City Clerk



City of Barre, Vermont

"Granite Center of the World"

Permitting Office in City Hall ~ 6 N Main Street, Suite 7, Barre, VT 05641

SITE PLAN REVIEW FORM

Site Plan Review: The purpose of Site Plan Review is to ensure that the physical aspects quality of developing appropriately cited public utilities are adequate and is energy efficient.

This form supplements the Zoning Permit Application. Please provide all of the information requested in all applications forms. We urge you to read the Zoning Regulations and familiarize yourself with them. Failure to provide all the necessary information may cause a delay in processing this application. Please use additional paper if necessary.

No zoning permit shall be issued for any use or structure, except for one family and multi-family residences up to four residential units until a site plan is approved. The DRB or the Zoning Administrator as the case may be, shall consider any and impose appropriate conditions, modifications and safeguards with respect to the following:

1. Does the dimensional standards of the proposed development conform to the standards of the applicable district or of *Subpart 130 Nonconformities* if a pre-existing nonconformity? Explain:

~~See attached cover letter.~~

2. Will there be any off-site impacts of the proposed development that will exceed the levels established in *Section 3105 Performance Standards? (Purpose, Noise, Glare, Odors, Vibration, Electrical or Radio Interference, Waste and Material Storage, Particulate Matter and Airborne Solids and Flammable, Toxic or Hazardous Substances and Waste.)*

~~See attached cover letter.~~

3. Does the proposed development provide safe and adequate access and circulation that conforms to the standards of *Sections 3002 Access and 3010 Driveways?* Explain:

~~See attached cover letter.~~

4. Will the proposed development provide sufficient parking and loading areas that conform to the standards of *Section 3104 Parking & Loading Areas*? Explain:

~~See attached cover letter.~~

5. Does the proposed development provide exterior lighting where necessary for public safety and to facilitate nighttime use that conforms to the standards of *Section 3102 Lighting*? Explain:

~~See attached cover letter.~~

6. Will the proposed development include landscaping, screening, and buffers to add visual appeal and mitigate off-site impacts that conform to the standards of *Sections 3020 Riparian Buffers and 3101 Landscaping*? Please List:

~~See attached cover letter.~~

7. How will the proposed development implement appropriate erosion control and stormwater management practices that conform to the standards of *Sections 3104 Parking & Loading Areas and 3021 Stormwater Management*?

~~See attached cover letter.~~

8. Signs for the proposed development will conform to the standards of *Section 3106 Screening*. Please give dimensions and placement:

~~See attached cover letter.~~

9. The proposed development will conform to city (or state, if applicable) specifications for construction of necessary improvements (streets, sidewalks, driveways, utilities, etc.), to city (or state, if applicable) building codes, and to city (or state, if applicable) standards for emergency service access. Please provide detail:

~~See attached cover letter.~~



VERMONT DEPARTMENT OF PUBLIC SAFETY
DIVISION OF FIRE SAFETY
Office of the State Fire Marshal, State Fire Academy and State Haz-Mat Team
www.firesafety.vermont.gov



CONSTRUCTION PERMIT LETTER

Project Information			
Site Number	112581	Project Number	531948
		Permit Number	2292433
Project Name:	New Building	New Apartment Building	
Building Name:	Stevens Branch Apartments	Applicant Company:	Wiemann Lamphere Architects
Building Address:	11 Seminary Street	Applicant Name:	David Roy
	Barre, VT 05461	Applicant Address:	38 Eastwood Drive, Suite 301
			South Burlington, VT 05403
Project Summary			
This project consists of constructing a new 5 story apartment building.			

Building Classification			
Basement:	No	Stories above Grade Plane #:	5
		Mezzanine:	No
SF of Largest Story:	6,936	Total Building Area:	32,275
Construction Type:	VA - V(111) Protected Wood frame	Risk Category (Structural):	II
Occupancy Type:	R-2 New Apartment Building		

Fire Protection Systems			
Sprinkler System **	Yes	Type:	NFPA 13
		Coverage:	Complete
Stand Pipe **	Yes	Type:	Class I
Fire Alarm System **	Yes	Automatic Detection:	Yes
		Manual:	Yes
Single Station Smoke Alarms	Yes	Single Station CO Alarms:	Yes
Commercial Kitchen Hood **	No		
Clean Agent System **	No		
Other **	Smoke Shield (elevator)		

Project Contacts			
Regional Office:	Waterbury	802-479-4434	45 State Dr. - Waterbury, VT 05671
Plans Reviewer:	Bruce Palmer	802-798-6763	Bruce.Palmer@vermont.gov
Field Inspector:	Ryan Aremburg	802-479-7577	Ryan.arendburg@vermont.gov
Electrical Inspector:	Arthur Young	802-595-2597	Arthur.Young@barrecity.org
Plumbing Inspector:	John Hammer	802-249-0271	John.Hammer@vermont.gov
Building Owner:	Stevens Branch Apt. Ltd. P 'ship	802-829-6051	ssilla@evernorth.org
Project Contractor:	DEW Construction	802-383-8823	cdonnelly@dewconstruction.com
Design Professional:	Wiemann Lamphere Architects	802-861-0438	droy@wiemannlamphere.com
It is the responsibility of the applicant to contact the above inspectors to set up a schedule of inspections at the start of the project. Final inspections shall be conducted by all trades prior to use or occupancy			

Site Number	112581	Project Number	531948
		Permit Number	2292433
Project Name:	New Building		

Conditions

The application and submittals for the above referenced project have been reviewed, and the permit is **APPROVED**. This approval applies only to the information listed on the drawings and specifications that have been submitted, and does not apply to any violations found on site during the course of field inspections. The project may proceed provided the work is done in compliance with the 2025 Vermont Fire and Building Safety Code, the plans and specifications submitted to this office, and the following conditions:

- 1 The 2021 NFPA 1 Fire code, the 2021 NFPA 101 Life safety code, and the 2021 ICC International Building Code will apply to this project as amended by the 2025 Vermont Fire and Building Safety Code.
- 2 The plans received are dated 05/21/2026, bearing project number 2024008 and were reviewed using all adopted codes as of this date. All Construction shall be in accordance with the submitted documents. The primary chapter of NFPA 101 Life Safety Code used for this review was: Chapter # 30 New Apartment Buildings.
- 3 Elevator lobby protection will be accomplished by installing Smoke shield Elevator model ERF10.
- 4 The spray applied fire proofing thickness is dependent on product used.
- 5 Enclosed with this construction permit approval letter is a "Final Construction Valuation Form". This form must be filled out including all change orders, and submitted to the Division of Fire Safety regional office prior to the approval for occupancy of your building or project.
- 6 The building must meet or exceed the accessibility standards for new construction and the alterations incorporated in 28 CFR Part 35 and 36, The 2010 ADA Standard for Accessible Design, as amended in 20 VSA chapter 174 and the current edition of the Vermont Access Rules.
- 7 The 2025 Vermont Electrical Safety Rules apply to this project. An electrical work notice shall be obtained and all work inspected for all projects. All work shall be done by a Vermont Master Electrician except for 1 & 2 family dwellings.
- 8 The 2025 Vermont Plumbing Rules will apply to this project. All work shall be done by a Vermont master plumber who has obtained a plumbing work notice before starting any work.
- 9 A technician who is appropriately certified and recognized by this department, as a "technically qualified person", must perform all installation, service and maintenance work on Fuel Burning Appliances. (NFPA 1:1.13.1(4)).
- 10 Structures undergoing construction, alteration, or demolition operations, including those in underground locations, shall comply with NFPA 1 Chapter 16, and NFPA 241, Standard for Safeguarding Construction, Alteration, and Demolition Operations- Per NFPA 1:16.4.2 the owner shall designate a Fire Prevention Program Manager, who shall be responsible for the fire prevention program. Including a weekly self-inspection program where records are maintained and made available upon request.
- 11 A statement of special inspections has been received. Please submit final reports of Special Inspections as required by IBC Section 1704.2.4 prior to requesting an inspection for occupancy.
- 12 The Submittals for this project indicate the installation of an automatic sprinkler system. A complete submittal in accordance with NFPA 13, 13R, or 13D as applicable, shall be provided to this office for review. The plans submitted for review shall be prepared by A Vermont Licensed Sprinkler Designer. A sprinkler system permit is required prior to this installation.
- 13 The Submittals for this project indicate the installation of a fire alarm system. A complete submittal in accordance with NFPA 72, shall be provided to this office for review. A copy of the plans designed by a licensed electrician or engineer shall be submitted with the permit application. A fire alarm permit, and electrical work notice are required prior to this installation.
- 14 Stairs, treads, risers, guards, handrails and landings shall comply with 2021 NFPA 101 Chapter 7 or as modified by the 2025 Vermont Fire and Building Safety Code.
- 15 The owner shall contact the local fire department to determine if there are any town/city requirements for an Access Box for this premise with a fire alarm system. 2021 NFPA 1 Section 18.2.2.1.

16 Smoke and carbon monoxide alarms must comply with 2021 NFPA 101 and the 2025 Vermont Fire and Building Safety Code

a. Single station photoelectric or UL 217 smoke alarms that receive power from the building electrical system with battery backup shall be installed in all sleeping rooms, and outside of each sleeping area, in the immediate vicinity of the sleeping rooms, and on each additional floor of the dwelling unit, including basements. Each alarm within each separate dwelling unit shall be interconnected such that all detectors in the unit will alarm together regardless of which detector is activated.

b. Carbon monoxide alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms, and on each additional floor of the dwelling unit, including basements. An additional carbon monoxide detector shall be installed in any sleeping room that contains a fuel-burning appliance, including fireplaces. These detectors shall receive their power from the building electrical system and have a battery back-up.

17 A secondary means of escape such as a door or compliant window is required from all living and sleeping rooms. In order for a window to qualify as an egress window, it must have a measurement of a minimum of 24" high, 20" wide and a clear opening of 5.7 ft² (820 in²). The clear opening shall be obtained by the normal operation of the window from the inside. The bottom of the window opening shall not be more than 44" above the floor and within 20' of grade on the outside of the building. NFPA 101:24.2.2.3.3. A replacement window must meet the existing requirements as amended by the 2025 Vermont Fire and Building Safety Code. Non-normally occupied or unfinished spaces including basements cannot be finished-off, occupied or re-configured without a separate state construction permit; all living/sleeping spaces must have secondary means of escape.

18 All foamed plastic, including Spray foam and ridged foam insulation, shall be protected and separated from the occupied portion of the building by appropriate thermal and ignition barriers such as drywall. Installations shall comply with 2021 IBC 2603 and Manufactures instructions.

19 Pipes, conduits, bus ducts, cables, wires, air ducts, pneumatic tubes and ducts, and similar building equipment that pass through fire barriers must be sealed with appropriate fire stopping materials that are listed for the intended use. Copies of listed firestop systems shall be kept on site and made available upon request by the Fire Marshal during inspections. NFPA 101: 8.3.4.2.

20 A rough inspection of all open walls is required by the electrical inspector, plumbing inspector and the fire prevention inspector before any wall covering is installed. Failure to call for this inspection can result in requiring the removal of the wall covering that was installed. The bathtub and showers enclosures that are located along the rated corridors or separation rated walls must be sheathed before the unit is installed, to maintain the required fire separation.

21 This building is classified as Construction Type I or Type II, all new construction materials shall be non-combustible or limited combustible materials or comply with IBC Section 603 and NFPA 220.

22 The building shall have address numbers placed in a position to be plainly legible and visible from the street or road fronting the property. The numbers shall be contrast with their background. 2021 NFPA 1:10.11.1.1.1.

The enclosed Construction permit poster shall be posted at the building site in a conspicuous location open to public view. This permit does not include any of the additional required permits as listed above, such as plumbing, electrical, etc., which are required to be submitted by the respective trades. It is the responsibility of the permit applicant to see that all subcontractors have their respective work notices.

This letter has been sent to the applicant only. It is the responsibility of the applicant to ensure that a copy of this letter is distributed to all applicable parties, as well as ensure that a copy be available at the job site at all times

In addition to periodic inspections, final inspections shall be performed by all pertinent field inspectors prior to occupying, or reoccupying any building, or portion of any building, or use of any fixed equipment affected by the work permitted above. Examples of required inspections are: State Electrical Inspector, State Plumbing Inspector, and the Assistant State Fire Marshal. It is the applicant's responsibility to coordinate these inspections with the respective trades. Appointments with the appropriate inspectors listed on page one of this letter, must be made within fifteen (15) days prior to the completion of the project. At the time of the final inspection and prior to the issuance of a certificate of occupancy, the field inspector will verify that the proper permits and work notices have been obtained.

This permit does not satisfy the requirements of local municipalities. You must contact local authorities to determine those requirements. Any change to the project, such as change orders or addendums, must be submitted to this department for approval. This permit expires after twelve (12) months unless commencement of the project has begun and remained continuous.

If you have any questions or if I can be of further assistance, please contact me at 802-798-6763

Bruce Palmer - Assistant State Fire Marshal

Bruce Palmer
Bruce Palmer

6/29/2026



VERMONT DEPARTMENT OF PUBLIC SAFETY
DIVISION OF FIRE SAFETY
Office of the State Fire Marshal, State Fire Academy and State Haz-Mat Team
www.firesafety.vermont.gov



FINAL CONSTRUCTION VALUATION

This form shall be completed and any returned to the below Division of Fire Safety regional office with any additional payment, prior to requesting a final inspection. A final inspection is required prior to occupying, or reoccupying any building, or portion of any building, or use of any fixed equipment affected by the work approved by the associated construction permit

The Division of Fire Safety Waterbury Regional office, 45 State Dr. - Waterbury, VT 05671

Project Name:	New Building		
Building Name:	Stevens Branch Apartments	Applicant Company:	Wiemann Lamphere Architects
Building Address:	11 Seminary Street	Applicant Name:	David Roy
	Barre, VT 05461	Applicant Address:	38 Eastwood Drive, Suite 301
	0		South Burlington, VT 05403

Final Construction Valuation

The Permit Fee is based on the total valuation of new construction or rehabilitation work for which the permit is being obtained. - For projects involving volunteer labor and donated material, the valuation of construction work is based on the value of the volunteer labor as well as the donated materials when calculating the permit fee.	a. Site work	\$
	b. Valuation of building construction	\$
	c. Fixed equipment	\$
	d. Electrical	\$
	e. Plumbing	\$
	f. Elevator, LULA, Lift	\$
	g. Heating, Ventilation, Air Cond.	\$
	h. Consulting Services	\$
	i. Other	\$
	j. Sprinkler System	\$
	k. Other fire Suppression Systems	\$
l. Fire Alarm System	\$	
	TOTAL FINAL VALUATION	\$

The current fee is \$8.00 per \$1,000 (0.008) of construction valuation for all construction and rehabilitation work.

Fee Calculation- The amount on line 4 is the additional fee owed to the Division of Fire Safety

[Line 1] Total Final Valuation (from above)	\$
[Line 2] Initial Estimated Construction Valuation (from Permit Application)	\$ 9,489,212.00
[Line 3] Construction Valuation Difference (Line 1 - Line 2)	\$
[Line 4] Additional Fee Owed (Line 3 x \$0.008)	\$

If the final project valuation is less than your initial estimate, a refund may be requested. Requested (circle): Yes or No

I hereby attest by my signature under 13 V.S.A. 3016 (filing a FALSE CLAIM with a department or agency of the state) that the information contained within this form is correct and accurate to the best of my knowledge:

Signature of Applicant: _____ Date: _____

** For office use only below this line **

Site#	Project#	Permit#	Received Date	Check #	Amount
112581	531948	2292433			



CONSTRUCTION PERMIT

BUILDING NAME Stevens Branch Apartments

ADDRESS 11 Seminary Street
Barre, VT 05461

PROJECT TYPE New Building
New Apartment Building

SITE #	PROJECT #	PERMIT #
112581	531948	2292433

DATE ISSUED June 29, 2026

ISSUED BY Bruce Palmer
Assistant State Fire Marshal

Reference the permit review letter for any conditions

This permit poster shall be posted at the building site in a conspicuous location open to public view.

In addition to this poster, a copy of the permit review letter shall be available on site at all times

Any questions regarding this permit shall be directed to:
The Division of Fire Safety Waterbury Regional office, 802-479-4434
45 State Dr. - Waterbury, VT 05671



VERMONT DEPARTMENT OF PUBLIC SAFETY
DIVISION OF FIRE SAFETY
 Office of the State Fire Marshal, State Fire Academy and State HAZMAT Team
www.firesafety.vermont.gov

Weekly Fire Code Review- NFPA 241 Standard for Safeguarding Construction, Alteration, and Demolition Operations

Location: _____

Site Program Manager: _____

Assistant Fire Marshal: _____

#	All Bracketed references are from NFPA 241, Standard for Safeguarding, Construction, Alteration and Demolition Operations. This is not a complete list of requirements.	Yes	No	N/A
1	Temporary Separation Walls {8.6.2}: Is there adequate separation between the work area and the rest of the building (One hour separation walls and 45 min opening protectives are often required by 8.6.2)?			
2	Temporary Enclosures {4.3.1}: Are all panels, tarps, plastic sheeting, etc. flame retardant?			
3	Impairments: NFPA 101:			
	Have paths of egress from occupied areas been maintained?			
	If fire alarm/detection systems in occupied areas have been temporarily impaired. Has the Assistant State Fire Marshal approved the impairments/ restrictions?			
4	Fire Extinguishers {4.3.4}:			
	Are appropriate fire extinguishers readily available, with a maximum travel distance of 50 feet?			
	Have fire extinguishers been provided within temporary enclosures?			
5	Internal Combustion Devices {4.4}:			
	Are all internal combustion devices, where required, exhausted outside, with a least 9 inches?			
	Is refueling only done on cool engines?			
6	Temporary Heating {5.2}: Is temporary heating equipment listed and being used according to the manufacturer's requirements?			
7	Hot Work Programs {5.1}:			
	Is there a dedicated fire watch?			
	Does the fire watch extend after the completion for work (e.g., usually minimum of 30 min. in general or 2 hrs. for roofs)?			
8	Waste {5.4}: Are accumulations of waste materials, dust, and debris removed at the end of each shift (or more frequently as needed)? Are dumpsters the required distance from a building(35 ft or emptied at the end of each work shift)?			
	Are materials subject to spontaneous ignition (e.g., oily rags) stored in listed disposal containers?			
9	Trash Chutes {5.4}: Are trash chutes non-combustible, or provided with sprinkler protection?			
10	Flammable/Combustible Liquids {5.5}: Are flammable/combustible liquids in proper containers and is there less than a total of 60 gallons inside and within 50 feet of the structure?			
11	Electrical {6.1}:			
	Are extension cords rated and free from damage?			
	Do all branch circuits originate in approved power outlets or panel boards with over-current protection?			
	Are all circuits grounded?			

#	All Bracketed references are from NFPA 241, Standard for Safeguarding, Construction, Alteration and Demolition Operations. This is not a complete list of requirements.	Yes	No	N/A
12	Lighting {6.1.3}:			
	Do all temporary lights have guards?			
	Are lights only suspended by their cords when designated to be so suspended?			
	Are they fastened securely, if necessary, to prevent ignition of combustible materials?			
13	Fire Safety Plan {7.1}: Has a fire safety plan been established and has a Fire Site Program Manager been designated?			
14	Fire Alarms {7.4}:			
	Is there a readily available pull box for fire alarms?			
	If a telephone is used, are instructions clearly posted?			
15	Command Post/Evac Area {7.5}:			
	Is there a designated command post provided with plans, emergency info., keys, communication, and other equipment as needed?			
	Is there a clear post-evacuation muster location?			
16	Fire Access {7.5}:			
	Are pre-approved fire department access routes being maintained?			
	Is there clear access to hydrants, standpipe and fire department connections?			
17	Standpipes {7.6, 8.7.4}: Are standpipes ready for use, and remain within one floor of the top level during construction/demolition?			
18	Egress {7.8}: Is the means of egress acceptable (e.g. properly marked, clear, safe, lighted)?			
19	Sprinkler {8.7.3}:			
	Is the sprinkler in place as soon as practicable following construction?			
	Are sprinkler valves checked at the end of each shift?			
20	Fire Cutoffs {8.6.1}:			
	Are fire walls and exit stairwells, where required for the completed building, given construction priority for installation?			
	Are fire doors installed as soon as practicable?			
21	Stairs {7.5.6}: Is a stairwell provided for the building?			
	Is the stairwell extended upward as each floor is installed in new construction and maintained for each floor still remaining in demolition?			
	Is it enclosed when the building exterior walls are in place?			
	Is it lighted?			
	Is signage provided indicating floor level, stair designation, and exit path directions?			
	Are extinguishers provided at each floor?			
22	Impairments to fire protection systems or fire alarm, detection or communication systems {7.2.4.6}:			
	Are temporary impairments of all fire protection devices and alarm/detection systems immediately removed upon completion of work in the area and at the end of each shift?			
	Is there an impairment coordinator?			

Notes: _____

Name: _____ Signature: _____

Date: _____

This record shall be kept on-site and available upon the request from the Fire Marshal